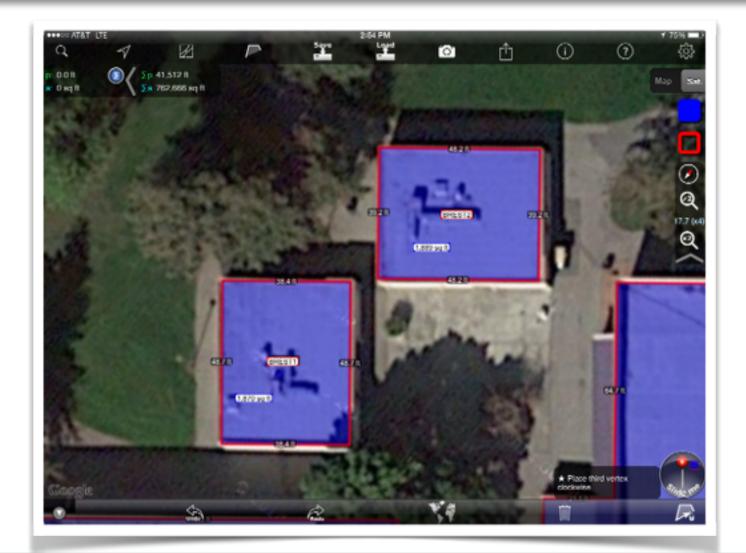
BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 28, 2014							
BUILDING	A, B, C, D Girl and Boy Bathrooms (eight roofs)							
ROOF SQ FT	1,900							



\$28,500.00

DATE	July 20, 2014							ENGINEERING			
BUILDING	A, B, C, D Girl and	d Boy	Bathrooms (eight	t root	fs)		E	ENGINEERING SERVICES FOR THE BUILDING ENVELOPE			
ROOF SQ FT	1,900							_		9	
ROOF CONSTRU											
ROOF AGE	2003		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH 2 INCH				3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS		
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	✓									
DRAINAGE	JOSAM	\	SCUPPERS		SS GUTTERS		OVER EDGE				
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12		
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	OITA	NS					#	
FIELD			PAIRS NEEDED						RATING	5	
		F	RESEAL SEAMS		В	LISTI	ERS or RIDGING		SS RATING		
	CLEAR ROOF OF DEBRIS						REPAIR NEEDED				
	DECK REPAIR SUSPECTED				,	И⊨МЕ	BRANE BRITTLE				
PITCH/POND			PAIRS NEEDED		·	VII—IVII	SIV WE BITTIEE		RATING	5	
THOM/TOND	FILL PONDING AREAS				FIX	(DEC	CK DEFLECTION		1011110		
			OME PONDING	7							
FLASHING		RE	PAIRS NEEDED						RATING	5	
	RESEAL/REPAIR ALL				RES	EAL/F	REPAIR SELECT		SS RATING		
	RESEAL/RECOAT AC DUCT				RE	SEAL	/RECOAT WALL				
	BASE FLASH CRAZE CRACKING				SOME WAL	L PL	YWOOD REPAIR				
DRAINAGE		RE	PAIRS NEEDED						RATING	5	
	ADD/E		NCE CRICKETS		ADD/EN	NAN	ICE OVERFLOW				
			CLEAR DRAINS	✓			ADD GUTTER				
DENIETDATION	GUTT		EPAIR NEEDED		GUTTE	R CC	ATING NEEDED		DATINIO	-	
PENETRATION			PAIRS NEEDED		DEC	⊏ ΔΙ /Γ			RATING	5	
		KESE	RAISE CURBS		RES	EAL/I	REPAIR SELECT				
			TAIGE CORDS								
MAINTENANCE	k	KEEP	DRAINS CLEAN	V	KEEP	WATE	ERWAYS CLEAN				
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES				
	CLEA	AR RC	OF OF DEBRIS		HV	/AC F	REPAIR NEEDED				
	H	HAZM/	AT SUSPECTED		INCREASE REGI	JLAR	MAINTENANCE	✓			
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	⋖			
ROOF CONDITIO	ON - OVERALL SY	STEM	RATING								
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPO	T REPAIRS ONLY		
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	T REPAIRS ONLY		
FAIR							REPLACE OF	R CO	OAT IN 3-5 YEARS		
MARGINAL						REPLACE OR	COA	AT IN 5-10 YEARS			
GOOD						REPLACE OR C	COAT	Γ IN 10-15 YEARS			
EXCELLENT				O	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD			
BUDGET ESTIMA	ATES										
	IN	MMED	IATE REPAIRS A	S RI	ECOMMENDED				\$(0.00	
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00	
				ROC	ROOF RECOATING				\$(0.00	





The photo below shows some craze cracking of the base flashing.



Most of the bathrooms have ponding in the center surrounding the single drain.



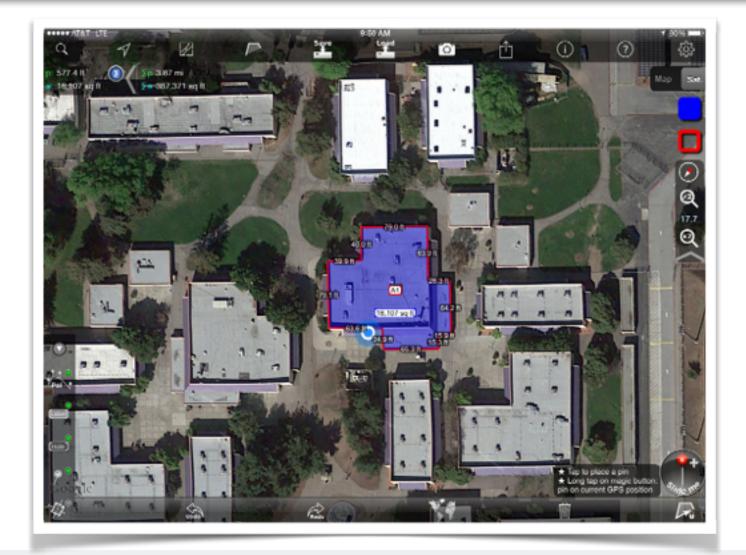




\$240,000.00

DAIL	July 22, 2014									-
BUILDING	A1						E	VGIVEERIN	IS SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	16,000							_		
ROOF CONSTRU								_		
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE 🗹 ISO				FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	⋖	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\checkmark	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM	\	SCUPPERS		SS GUTTERS	\	OVER EDGE			
SLOPE	NONE		1:12		2:12	\checkmark	3:12		SS 6:12	4
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	1OITA	NS					#
FIELD	· ·		PAIRS NEEDED						RATING	5
			RESEAL SEAMS		RESEAL B	SS RATING	8			
	CLE/						REPAIR NEEDED			
	CLEAR ROOF OF DEBRIS									
	DECK REPAIR SUSPECTED				RESEAL/F	RPLA	CE FASTENERS		5.7010	
PITCH/POND	REPAIRS NEEDED				EIN	/ DE/			RATING	6
	FILL PONDING AREAS				FIX	DE	CK DEFLECTION	✓		
FLASHING		ΡF	PAIRS NEEDED						RATING	4
FLASIIING	RESEAL/REPAIR ALL				DES	ΕΔΙ/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT						L/RECOAT WALL	I	OO RATING	U
	BASE FLASH CRAZE CRACKING									
DRAINAGE	REPAIRS NEEDED								RATING	6
	ADD/E	ENHA	NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW			
			CLEAR DRAINS				ADD GUTTER			
	GUTT	ER R	EPAIR NEEDED		GUTTE					
PENETRATION		RE	PAIRS NEEDED	\checkmark					RATING	4
		RESE	AL/REPAIR ALL	√	RES	EAL/	REPAIR SELECT			
MAINTENANCE	K	KEEP	DRAINS CLEAN	\checkmark	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
			OF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
			AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - 9	SPOT	T REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - \$	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL						REPLACE OR	COA	T IN 5-10 YEARS		
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$10,000	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	00.0

ROOF RECOATING





The photo below shows the walls needing to be recoated.



The photo below shows penetration sealant failing.



FACILITY Independence HS DATE July 22, 2014 BUILDING A2 ROOF SQ FT 5,600	BUILDING INFORMATION								
BUILDING A2	FACILITY	ependence HS							
	DATE	July 22, 2014							
ROOF SQ FT 5,600	BUILDING	A2							
	ROOF SQ FT	5,600							



\$84,000.00

BUILDING	A2									
ROOF SQ FT	5,600						E	NGINEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF CONSTRU	JCTION						_	i		
ROOF AGE	SS 2007	✓	BUR 2004	✓	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	✓	SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12		2:12	\checkmark	3:12		SS 6:12	⋖
ROOF CONDITIO	ON - RATINGS (1-1	10) ar	nd RECOMMENDA	1OITA	NS					#
FIELD		RE	EPAIRS NEEDED						RATING	7
	RESEAL SEAMS				RESEAL BLISTERS or RIDGING				SS RATING	8
	CLEAR ROOF OF DEBRIS				DE	CK F	REPAIR NEEDED			
	DECK REPAIR SUSPECTED				RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND	REPAIRS NEEDED								RATING	6
	FILL PONDING AREAS				FIX	(DE(CK DEFLECTION			
FLASHING		RE	EPAIRS NEEDED	\checkmark					RATING	4
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL	✓		
	BASE FLASH CRAZE CRACKING									
DRAINAGE			EPAIRS NEEDED						RATING	6
	ADD/E	ENHA	ANCE CRICKETS		ADD/EN	NHAN	NCE OVERFLOW			
	CLITT	-ED E	CLEAR DRAINS REPAIR NEEDED		CUTTE	D CC	ADD GUTTER DATING NEEDED			
PENETRATION	GOTT		EPAIRS NEEDED		GOTTE	K CC	DATING NEEDED		RATING	6
LIVETTOTION			EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT		10/11/10	
MAINTENANCE	k	KEEP	DRAINS CLEAN	\checkmark	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR R	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
	H	HAZM	IAT SUSPECTED							
LEAKS	E	EVIDE	ENCE OF LEAKS		YES		NO	V		
ROOF CONDITIO	ON - OVERALL SY	STEN	M RATING							
VERY POOR									TREPAIRS ONLY	
POOR					REPLACE OR (COAT	「IN 1-2 YEARS - S			
FAIR					REPLACE OR COAT IN 3-5 YEAR					
MARGINAL									T IN 5-10 YEARS	_
GOOD									IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	i TH/	AN 5 YEARS OLD	
BUDGET ESTIMA		42.7-		0 =					0.5.00	2.00
	IN		DIATE REPAIRS A						\$5,000 \$1,500	
		YEARLY PREVEN	IIVE	WAINENANCE				\$1,500	J.UU	

ROOF RECOATING





The photo below shows the walls needing to be recoated.



The photo below shows some base flashing craze cracking.



BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 22, 2014						
BUILDING	A3						
ROOF SQ FT	13,800						



\$207,000.00

DAIL	July 22, 2014									<u>.</u>
BUILDING	A3						E	VGIVEERIN	IS SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	13,800							_		
ROOF CONSTRU										
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE 🗹 ISO				FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM	\	SCUPPERS		SS GUTTERS	\	OVER EDGE			
SLOPE	NONE		1:12		2:12	\checkmark	3:12		SS 6:12	\
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	101T <i>P</i>	NS					#
FIELD		RE	PAIRS NEEDED						RATING	4
		F	RESEAL SEAMS		RESEAL B	SS RATING	8			
	CL E4						REPAIR NEEDED			
	CLEAR ROOF OF DEBRIS DECK REPAIR SUSPECTED						CE FASTENERS			
PITCH/POND	REPAIRS NEEDED				RESEAL/F	VL L	ICE PASTENERS		RATING	6
THOM/TOND	FILL PONDING AREAS				FIX	(DF	CK DEFLECTION	~	TATINO	
	TILL TONDING ANLAG				,		31. 22. 22. 1.01.			
FLASHING		RE	PAIRS NEEDED						RATING	4
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL	\checkmark		
	BASE FLASH CRAZE CRACKING									
DRAINAGE	REPAIRS NEEDED								RATING	6
	ADD/E	ENHA	NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW			
			CLEAR DRAINS							
	GUTT	ER R	EPAIR NEEDED		GUTTE	R CC				
PENETRATION			PAIRS NEEDED						RATING	4
		RESE	AL/REPAIR ALL	✓	RES	EAL/	REPAIR SELECT			
MAINTENANCE	12	/CCD	DRAINS CLEAN		VEED	\ ^/ ^T	ERWAYS CLEAN			
WAINTENANCE			UNTIL REROOF		KEEP	VVAI	TRIM TREES	V		
			OF OF DEBRIS		HV	AC F	REPAIR NEEDED	_		
			AT SUSPECTED		111	, (0 1	(LI / III (I (LED LE			
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	I		
ROOF CONDITIO	ON - OVERALL SY:	STEM	RATING		_		_			
VERY POOR		O I LIV			REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	T REPAIRS ONLY	
POOR							Γ IN 1-2 YEARS - 9			
FAIR					2 .02 0		_		AT IN 3-5 YEARS	
MARGINAL								T IN 5-10 YEARS		
GOOD						SS				
EXCELLENT					0		IF ROOF IS LESS			
BUDGET ESTIMA	ATES									
DODOLT LOTINIA		MMFF	DIATE REPAIRS A	S RF	ECOMMENDED				\$15,000	0.00
	II'		EARLY PREVEN						\$1,500	
		1							ψ1,000	

ROOF RECOATING





The photo below shows that AC units need some sealing.



The photo below shows penetration sealant failing.



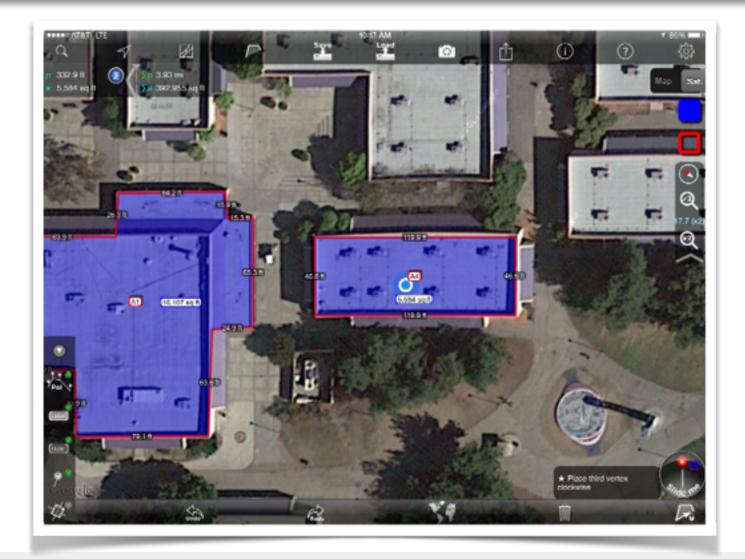




\$82,500.00

BUILDING	A4									
ROOF SQ FT	5,500							VGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007	⋖	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	✓
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	⋖	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	⋖	SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	⋖								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12		2:12	\	3:12		SS 6:12	✓
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	OITA	NS					#
FIELD		REF	PAIRS NEEDED						RATING	4
		R	ESEAL SEAMS		В	LIST	✓	SS RATING	8	
	CLEAR ROOF OF DEBRIS				DE	CK F	REPAIR NEEDED			
	DECK I	REPAI	R SUSPECTED		N	ИΕМ	BRANE BRITTLE	✓		
PITCH/POND		REF	PAIRS NEEDED						RATING	6
	FILL PONDING AREAS				FIX	DE	CK DEFLECTION	√		
FLASHING	REPAIRS NEEDED								RATING	4
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL	✓		
	BASE FLASH CRAZE CRACKING									_
DRAINAGE			PAIRS NEEDED						RATING	6
	ADD/E		ICE CRICKETS		ADD/ENHANCE OVERFLOW ADD GUTTER					
	CUTT		CLEAR DRAINS		CUTTE	D CC				
PENETRATION	GUII		PAIR NEEDED PAIRS NEEDED		GUTTER COATING NEEDED				RATING	1
FENETRATION			AL/REPAIR ALL		RESEAL/REPAIR SELECT				RATING	4
		I LOL			RESEAL/REPAIR SELECT					
MAINTENANCE	K	(EEP [DRAINS CLEAN	✓	KEEP WATERWAYS CLEAN					
	SPOT RE	PAIR (JNTIL REROOF	✓			TRIM TREES			
	CLEA	AR RO	OF OF DEBRIS		HV	⁄AC F	REPAIR NEEDED			
	Н	IAZMA	T SUSPECTED							
LEAKS	E	EVIDEI	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPO	TREPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	Γ REPAIRS ONLY	✓
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$0	0.00
YEARLY PREVENTIVE MAINENANCE \$1,5								\$1,500	0.00	

ROOF RECOATING





The photo below shows some ponding.



The photo below shows penetration sealant failing.

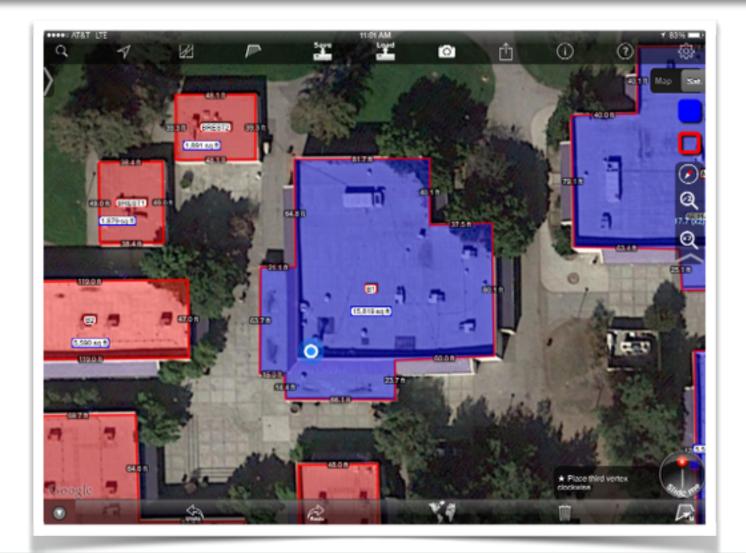






\$237,000.00

	B1							ENGINEERING			
BUILDING ROOF SQ FT	15,800							ENGINEERII	IS SERVICES FOR THE BUILDING ENVE	LOPE	
								_		_	
ROOF CONSTRU			DUD 0005		E 40 VEADO		40.45.VEADO		45 L VEADO		
ROOF AGE	SS 2007	•	BUR 2005	_	5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD		PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS		SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS		
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	_									
DRAINAGE	JOSAM		SCUPPERS		SS GUTTERS		OVER EDGE				
SLOPE	NONE		1:12		2:12		3:12		SS 6:12		
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#	
FIELD		RE	PAIRS NEEDED						RATING	3	
	RESEAL SEAMS				В	LIST	ERS or RIDGING		SS RATING	8	
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED	\			
	DECK REPAIR SUSPECTED					МЕМІ	BRANE BRITTLE				
PITCH/POND	REPAIRS NEEDED								RATING	4	
	F	ILL P	ONDING AREAS		FIX	(DEC	CK DEFLECTION	\checkmark			
FLASHING	REPAIRS NEEDED								RATING	4	
	RESEAL/REPAIR ALL						REPAIR SELECT	_	SS RATING	8	
	RESEAL/RECOAT AC DUCT				RE	SEAI	_/RECOAT WALL				
DDAINAGE	BASE FLASH CRAZE CRACKING								DATINO	2	
DRAINAGE	A D D /E		PAIRS NEEDED NCE CRICKETS	V	ADD/E		ICE OVERFLOW		RATING	3	
	ADDIL		CLEAR DRAINS		ADD/LI	NI IAI	ADD GUTTER				
	GUTT		EPAIR NEEDED		GUTTE	R CC	ATING NEEDED				
PENETRATION			PAIRS NEEDED						RATING	3	
		RESE	EAL/REPAIR ALL		RES	EAL/I	REPAIR SELECT				
MAINTENANCE	k	EEP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN				
	SPOT RE	PAIR	UNTIL REROOF	✓			TRIM TREES	✓			
	CLEA	AR RO	OOF OF DEBRIS		H\	/AC F	REPAIR NEEDED				
			AT SUSPECTED			_					
LEAKS	E	VIDE	ENCE OF LEAKS		YES	V	NO				
	ON - OVERALL SY	STEM	1 RATING								
VERY POOR									T REPAIRS ONLY		
POOR					REPLACE OR (COAT			T REPAIRS ONLY	✓	
FAIR									AT IN 3-5 YEARS		
MARGINAL									T IN 5-10 YEARS		
GOOD									IN 10-15 YEARS		
EXCELLENT					C	NLY	IF ROOF IS LESS	S THA	AN 5 YEARS OLD		
BUDGET ESTIMA											
	IN		DIATE REPAIRS A						·	0.00	
		Y	'EARLY PREVEN						\$1,500		
					OF RECOATING				·	0.00	
			DEC	JK RI	EPLACEMENT				\$4,000	0.00	





The photo below shows the parapet walls and flashing needs to be resealed and recoated.



The photo below shows the fire damaged area. Deck replacement in this area is needed.



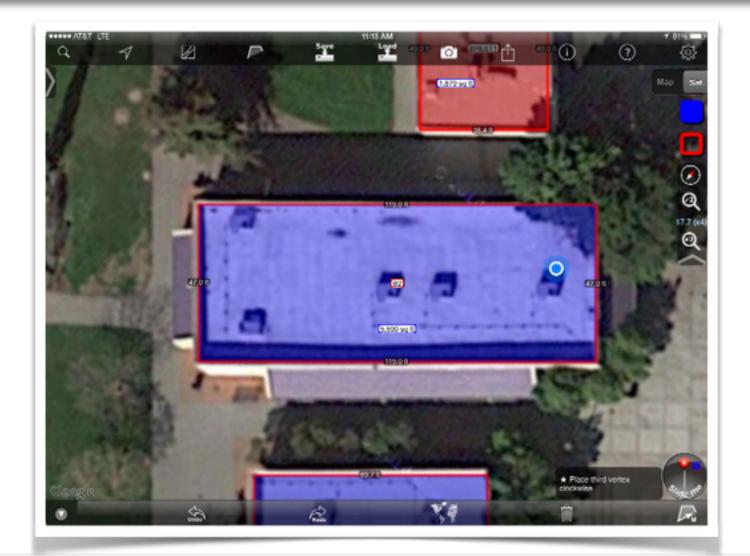
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 23, 2014						
BUILDING	B2						
ROOF SQ FT	5,500						



\$82,500.00

BUILDING	B2							E N G I N E E R I N G ENGINEERING SERVICES FOR THE BUILDING ENVELOPE			
ROOF SQ FT	5,500							_			
ROOF CONSTRU	JCTION										
ROOF AGE	SS 2007	✓	BUR 2008		5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	\	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH 2 INCH				3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS	✓	SINGLE PLY		BUR	\	MOD BIT		TWO SYSTEMS	\	
MEM SURFACE	COATING		MS CAP		GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	✓									
DRAINAGE	JOSAM	~	SCUPPERS		SS GUTTERS	\	OVER EDGE				
SLOPE	NONE		1:12	\checkmark	2:12		3:12		SS 6:12	✓	
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#	
FIELD		RE	PAIRS NEEDED						RATING	8	
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	8	
	CLEAR ROOF OF DEBRIS				DE	CK F	REPAIR NEEDED				
	DECK	REPA	IR SUSPECTED		ľ	МЕМ	BRANE BRITTLE				
PITCH/POND		RE	PAIRS NEEDED						RATING	8	
	FILL PONDING AREAS				FIX	(DE	CK DEFLECTION				
FLASHING		RE	PAIRS NEEDED						RATING	8	
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8	
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL				
	BASE FLASH CRAZE CRACKING				RES	EAL \	WALL FLASHING				
DRAINAGE	455/		PAIRS NEEDED		400/51		105 0) (555) 014		RATING	7	
	ADD/E		NCE CRICKETS		ADD/ENHANCE OVERFLOW ADD GUTTER						
	GUTT		CLEAR DRAINS EPAIR NEEDED		GUTTER COATING NEEDED						
PENETRATION	3011		PAIRS NEEDED		GOTTE	IX OC	ATING NEEDED		RATING	8	
			EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT		7011110		
MAINTENANCE	k	KEEP	DRAINS CLEAN	\	KEEP	WAT	ERWAYS CLEAN				
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES	\			
	CLEA	AR RO	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED				
	H	IAZM.	AT SUSPECTED								
LEAKS	E	VIDE	NCE OF LEAKS		YES		NO				
	ON - OVERALL SY	STEM	1 RATING								
VERY POOR									TREPAIRS ONLY		
POOR					REPLACE OR (CAOC			T REPAIRS ONLY		
FAIR								AT IN 3-5 YEARS			
MARGINAL									T IN 5-10 YEARS		
GOOD					_				IN 10-15 YEARS		
EXCELLENT	ATEC					INLY	IF KOOF IS LESS) IH/	AN 5 YEARS OLD		
BUDGET ESTIMA				C D						0.00	
			DIATE REPAIRS A							0.00	
		Y	EARLY PREVEN	ıı∨∟	WAINENANCE				\$1,500	J.UU	

ROOF RECOATING





Trimming the trees will prolong the life of the roof.



The photo below shows some base flashing craze cracking.



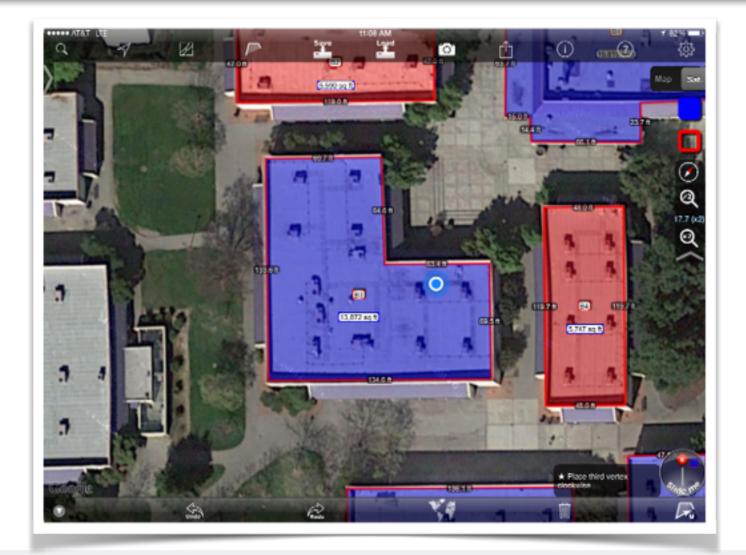
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 23, 2014						
BUILDING	B3						
ROOF SQ FT	13,800						



\$207,000.00

DAIL	July 23, 2014								C N E E D N	<u>.</u>	
BUILDING	B3				i.				ENGINEERING SERVICES FOR THE BUILDING ENVELOPE		
ROOF SQ FT	13,800							_		4	
ROOF CONSTRU	JCTION										
ROOF AGE	SS 2007		BUR 2005	✓	5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS SINGLE PLY				BUR	\	MOD BIT		TWO SYSTEMS	✓	
MEM SURFACE	COATING MS CAP				GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET										
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE				
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	\	
ROOF CONDITIO	DN - RATINGS (1-1	0) and	H RECOMMENDA	1OITA	NS					#	
FIELD			PAIRS NEEDED						RATING	6	
TILLD			RESEAL SEAMS		D	LICT	ERS or RIDGING		SS RATING		
	01.54						REPAIR NEEDED		OO TATINO		
	CLEAR ROOF OF DEBRIS										
	DECK		IR SUSPECTED		P	ИЕM			_		
PITCH/POND	_		PAIRS NEEDED						RATING	6	
	FILL PONDING AREAS				FIX DECK DEFLECTION						
FLASHING	DEDAIDS NEEDED								RATING	2	
FLASHING	REPAIRS NEEDED				RESEAL/REPAIR SELECT				SS RATING	3	
	RESEAL/REPAIR ALL RESEAL/RECOAT AC DUCT				RESEAL/RECOAT WALL				33 RATING	8	
			AZE CRACKING				WALL FLASHING	V			
DRAINAGE	<i>D</i> / (02 1 2/ (0		PAIRS NEEDED		T L C I	_/ \L	W LE I E LO III VO		RATING	6	
270 02	ADD/E		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW				
			CLEAR DRAINS				ADD GUTTER				
	GUTT	ER R	EPAIR NEEDED		GUTTER COATING NEEDED						
PENETRATION		RE	PAIRS NEEDED	✓					RATING	4	
		RESE	AL/REPAIR ALL	✓	RES	EAL/	REPAIR SELECT			_	
MAINTENANCE	k	KEEP	DRAINS CLEAN	\checkmark	KEEP	WAT	ERWAYS CLEAN				
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES	\			
	CLEA	AR RC	OF OF DEBRIS		HV	AC F	REPAIR NEEDED				
	H	lAZM/	AT SUSPECTED								
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO				
ROOF CONDITIO	ON - OVERALL SY	STEM	RATING								
VERY POOR					REPLACE OR C	CAT	IMMEDIATELY - S	SPOT	T REPAIRS ONLY		
POOR					REPLACE OR (COAT	IN 1-2 YEARS - 9	SPO	Γ REPAIRS ONLY		
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS		
MARGINAL	REPLACE OR COAT IN 5-10 YEARS										
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS		
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD		
BUDGET ESTIMA	ATES										
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$7,500	0.00	
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00	
								20.55			

ROOF RECOATING





The photo below shows that penetration mastic failing.



The photo below shows wall flashing sealant failing.



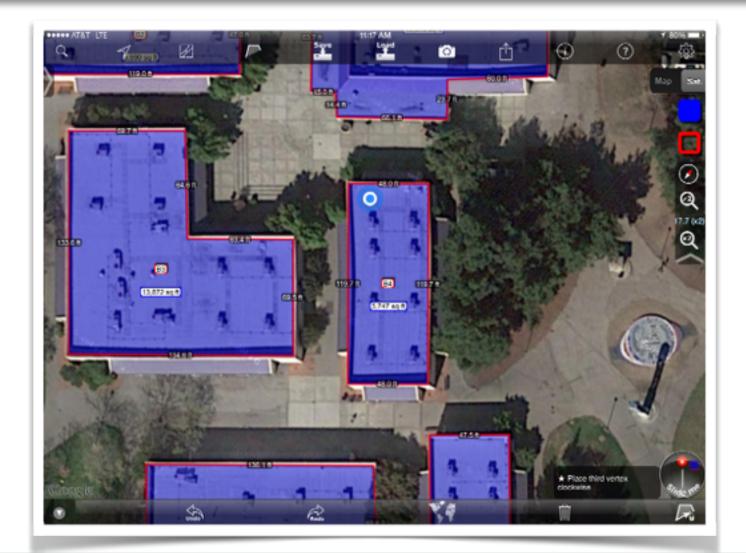
BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 23, 2014							
BUILDING	B4							
ROOF SQ FT	13,800							



\$207,000.00

BUILDING	B4						Ē	N (G I N E E R I N IG SERVICES FOR THE BUILDING ENVE	G
ROOF SQ FT	13,800							_		
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007	⋖	BUR 2005	\	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	\	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	\checkmark	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	\checkmark	SINGLE PLY		BUR	\	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	\checkmark								
DRAINAGE	JOSAM	√	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	4	2:12		3:12		SS 6:12	✓
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED						RATING	6
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	8
	CLEA	AR RC	OF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPA	R SUSPECTED		ľ	ИЕМІ	BRANE BRITTLE			
PITCH/POND		RE	PAIRS NEEDED						RATING	6
	F	ILL PO	ONDING AREAS		FIX	FIX DECK DEFLECTION				
FLASHING	REPAIRS NEEDED								RATING	6
		RESE	AL/REPAIR ALL		RES	RESEAL/REPAIR SELECT			SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	_/RECOAT WALL			
	BASE FLAS		AZE CRACKING	✓	RES	EAL \	WALL FLASHING			_
DRAINAGE			PAIRS NEEDED						RATING	6
	ADD/E		NCE CRICKETS		ADD/EI	NHAN	ICE OVERFLOW			
	GUTT		CLEAR DRAINS EPAIR NEEDED		GUITTE	B CC	ADD GUTTER DATING NEEDED			
PENETRATION	3011		PAIRS NEEDED		GOTTE	IX OC	ATING NEEDED		RATING	6
			AL/REPAIR ALL		RES	EAL/I	REPAIR SELECT		7011110	
MAINTENANCE	K	(EEP	DRAINS CLEAN	\	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RC	OF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
			AT SUSPECTED							
LEAKS	E	VIDE	NCE OF LEAKS		YES		NO	✓		
	ON - OVERALL SYS	STEM	RATING							
VERY POOR									T REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - 9			
FAIR									AT IN 3-5 YEARS	
MARGINAL									T IN 5-10 YEARS	_
GOOD									IN 10-15 YEARS	
EXCELLENT					C	NLY	IF ROOF IS LESS	TH/	AN 5 YEARS OLD	
BUDGET ESTIMA		40	LATE DESCRIPTION	0.5					AT 7 0	
	in in		IATE REPAIRS A						\$7,500	
		Y	EARLY PREVEN	TIVE	MAINENANCE \$1,500.0					0.00

ROOF RECOATING



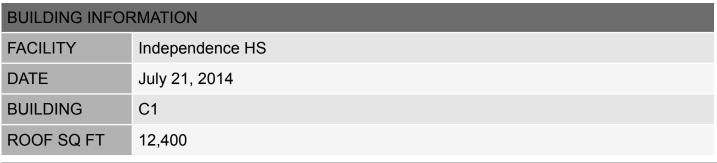


The photo below shows the wall coating and flashing in fair condition.



The photo below shows some base flashing craze cracking.



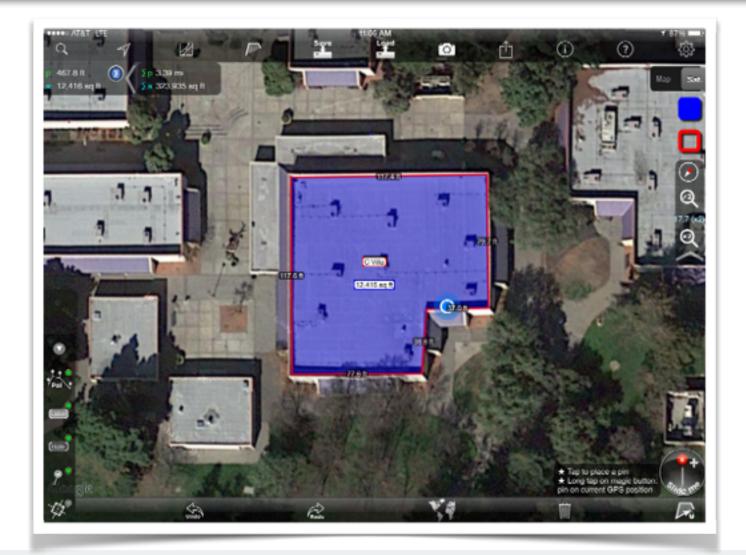




\$186,000.00

DAIL	July 21, 2014									Ę
BUILDING	C1						E	VGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	12,400							_		4
ROOF CONSTRU	JCTION									
ROOF AGE	2005		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH 2 INCH				3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS SINGLE PLY				BUR	\checkmark	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING MS CAP				GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12		2:12	\	3:12		SS 6:12	✓
ROOF CONDITIO	DN - RATINGS (1-1	0) and	d RECOMMENDA	1OITA	NS					#
FIELD			PAIRS NEEDED			_		_	RATING	6
			RESEAL SEAMS		DESEAL B	LIST	ERS or RIDGING		SS RATING	8
							REPAIR NEEDED		001011110	
			OOF OF DEBRIS							
	DECK		IR SUSPECTED		RESEAL/RPLACE FASTENERS					
PITCH/POND	_		PAIRS NEEDED		=15				RATING	8
	F	ILL P	ONDING AREAS		FIX	DE	CK DEFLECTION			
FLASHING	DEDAIDS NEEDED								RATING	1
FLASHING	REPAIRS NEEDED				DEG	⊏ ∧ι/	REPAIR SELECT	~	SS RATING	8
	RESEAL/REPAIR ALL RESEAL/RECOAT AC DUCT						L/RECOAT WALL	_	33 NATING	O
			AZE CRACKING	V	IXL	OL/ (LINE CONTINUE			
DRAINAGE	2,102,12,10		PAIRS NEEDED						RATING	8
	ADD/E		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW			
			CLEAR DRAINS				ADD GUTTER			
	GUTT	ER R	EPAIR NEEDED		GUTTE	R CC	DATING NEEDED			
PENETRATION		RE	PAIRS NEEDED						RATING	4
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
MAINTENANCE	k	KEEP	DRAINS CLEAN	\checkmark	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RC	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
			AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	Γ REPAIRS ONLY	
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - \$	SPOT	TREPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$10,000	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	00.0

ROOF RECOATING





The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.



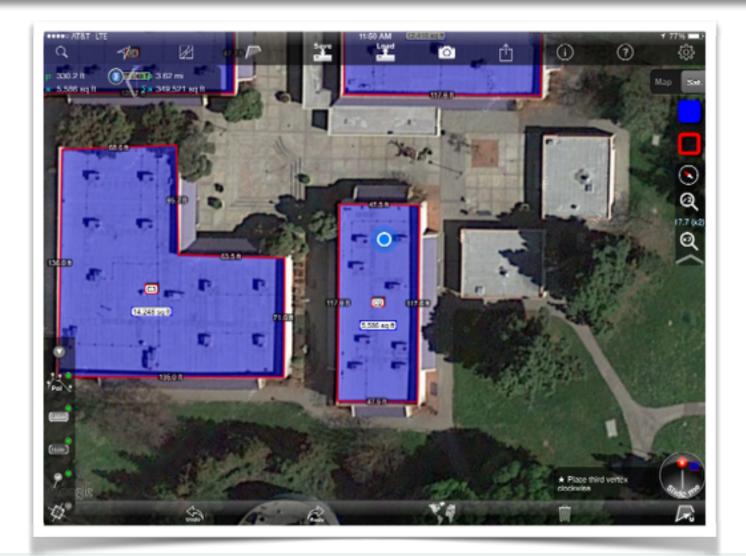
BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 21, 2014							
BUILDING	C2							
ROOF SQ FT	5,500							

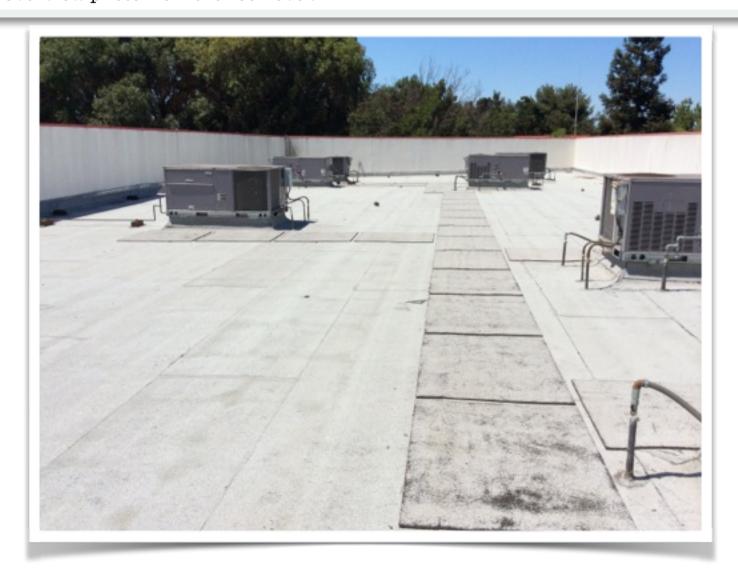


\$82,500.00

BUILDING	C2						Ē	N (G I N E E R I N IG SERVICES FOR THE BUILDING ENVE	G
ROOF SQ FT	5,500							_		
ROOF CONSTRU	JCTION									
ROOF AGE	2005	✓	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	\	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	\checkmark	SINGLE PLY		BUR	\checkmark	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\checkmark	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	\checkmark								
DRAINAGE	JOSAM	\checkmark	SCUPPERS		GUTTERS		OVER EDGE			
SLOPE	NONE		1:12		2:12	\	3:12		SS 6:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	IOITA	NS					#
FIELD		RE	PAIRS NEEDED						RATING	6
		F	RESEAL SEAMS		RESEAL B	LIST	ERS or RIDGING		SS RATING	8
	CLEA	AR RC	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPA	IR SUSPECTED		RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND		RE	PAIRS NEEDED						RATING	7
	F	ILL PO	ONDING AREAS		FIX	FIX DECK DEFLECTION				
FLASHING	REPAIRS NEEDED								RATING	4
		RESE	AL/REPAIR ALL		RES	SEAL/REPAIR SELECT			SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	_/RECOAT WALL			
	BASE FLAS		AZE CRACKING	✓						_
DRAINAGE			PAIRS NEEDED						RATING	8
	ADD/E		NCE CRICKETS		ADD/EN	NHAN	ICE OVERFLOW			
	GUTT		CLEAR DRAINS EPAIR NEEDED		GUTTE	B CC	ADD GUTTER DATING NEEDED			
PENETRATION	3011		PAIRS NEEDED		GOTTE	IX OC	ATING NEEDED		RATING	4
· Lile ii diii dii			AL/REPAIR ALL		RES	EAL/	REPAIR SELECT		10111110	
MAINTENANCE	k	KEEP	DRAINS CLEAN	\	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RC	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
	F	IAZM/	AT SUSPECTED		KEEF	PSS	GUTTER CLEAR	✓		
LEAKS	E	VIDE	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SY	STEM	RATING							
VERY POOR									TREPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	FREPAIRS ONLY	
FAIR									AT IN 3-5 YEARS	
MARGINAL									T IN 5-10 YEARS	_
GOOD									IN 10-15 YEARS	
EXCELLENT					C	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA		40.							AT 25	200
	IN		DIATE REPAIRS A						\$5,000	
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500).00

ROOF RECOATING

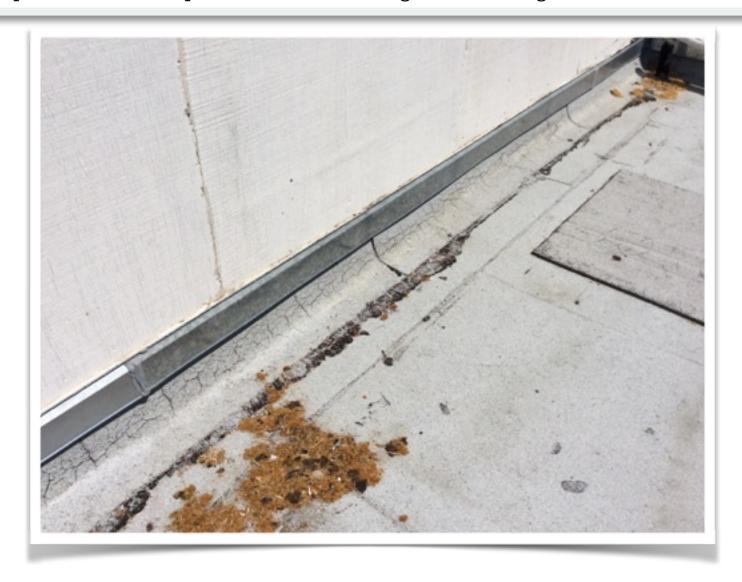


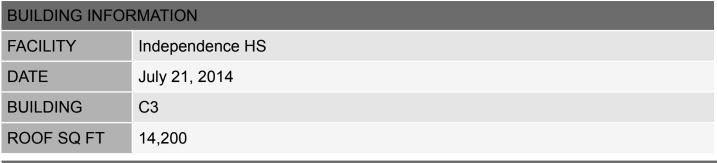


The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.



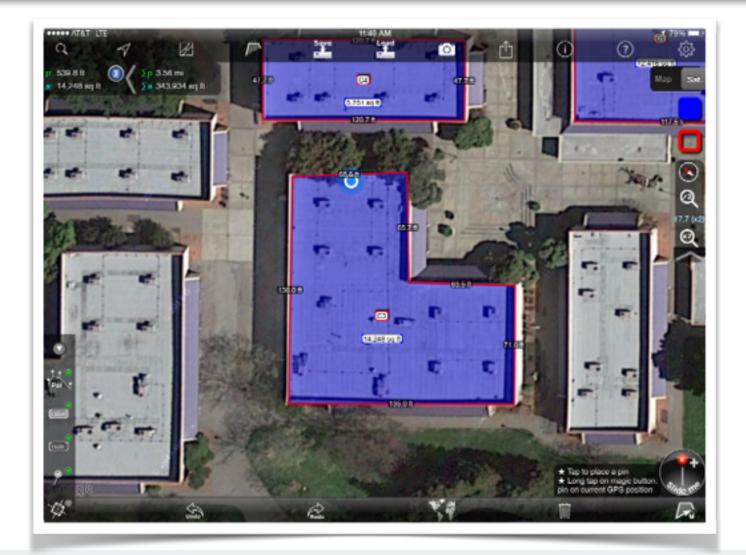




\$213,000.00

BUILDING	C3						Ē	N (G N E E R N IG SERVICES FOR THE BUILDING ENVE	G
ROOF SQ FT	14,200							_		
ROOF CONSTRU	JCTION									
ROOF AGE	2005	✓	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	⋖	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	⋖	SINGLE PLY		BUR	\checkmark	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\checkmark	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	⋖								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	\	OVER EDGE			
SLOPE	NONE		1:12	✓	2:12		3:12		SS 6:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED						RATING	6
		F	RESEAL SEAMS		RESEAL B	LIST	ERS or RIDGING		SS RATING	8
	CLEA	AR RC	OF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPA	IR SUSPECTED		RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND		RE	PAIRS NEEDED						RATING	7
	F	ILL PO	ONDING AREAS		FIX	FIX DECK DEFLECTION				
FLASHING	REPAIRS NEEDED								RATING	4
	RESEAL/REPAIR ALL				RES	ESEAL/REPAIR SELECT			SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEAI	_/RECOAT WALL			
	BASE FLAS		AZE CRACKING	✓						
DRAINAGE	A D D //		PAIRS NEEDED		4 DD (E)		IOE OVEREI OM		RATING	8
	ADD/E		NCE CRICKETS CLEAR DRAINS		ADD/ER	NHAN	ADD GUTTER			
	GUTT		EPAIR NEEDED		GUTTE	R CC				
PENETRATION	0011		PAIRS NEEDED		00112		WING NEEDED		RATING	4
			AL/REPAIR ALL		RES	EAL/I	REPAIR SELECT			
MAINTENANCE	K	(EEP	DRAINS CLEAN	✓	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
			OF OF DEBRIS				REPAIR NEEDED			
1 = 11/0			AT SUSPECTED		KEEP SS GUTTE					
LEAKS			NCE OF LEAKS		YES		NO	V		
	ON - OVERALL SYS	STEM	RATING	•	DED! 405.00.00					
VERY POOR									F REPAIRS ONLY	
POOR					KEPLACE OR (JUAT	IN 1-2 YEARS - S			
FAIR									AT IN 3-5 YEARS	
MARGINAL						.00			T IN 5-10 YEARS	
GOOD					^				IN 10-15 YEARS	
EXCELLENT	ATEC					INLY	IF ROOF IS LESS) I []/	AN D TEAKS ULD	
BUDGET ESTIMA			IATE REPAIRS A	S DI	ECOMMENDED				\$8,000) (()
	11		EARLY PREVEN							
		Ť	LANLIFREVEN	IIV	INAINLINAINCE		\$1,500.00			

ROOF RECOATING





The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.



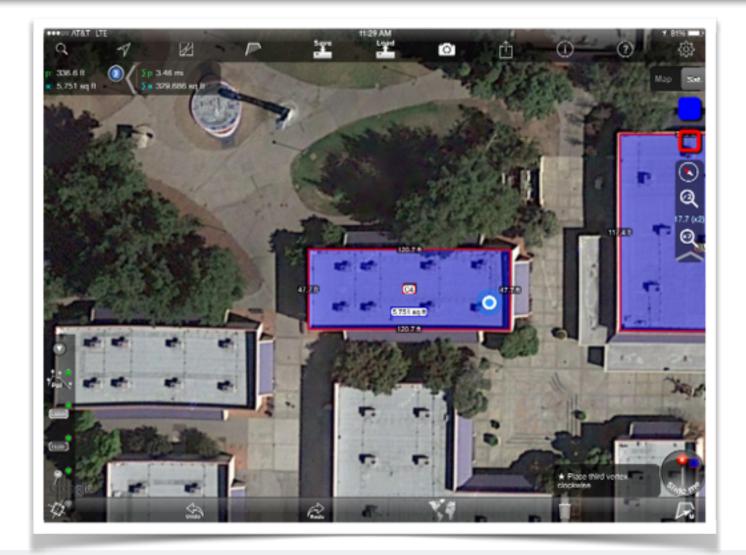




\$85,500.00

BUILDING	C4						Ē	N (G I N E E R I N IG SERVICES FOR THE BUILDING ENVE	G
ROOF SQ FT	5,700							TOTILLE	OCENICS FOR THE SWEETING EINE	Love
ROOF CONSTRU	JCTION									
ROOF AGE	2005	⋖	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	~	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	\checkmark	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	⋖	SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	~	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	\checkmark								
DRAINAGE	JOSAM	\	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	\checkmark	2:12		3:12		SS 6:12	✓
ROOF CONDITIO	ON - RATINGS (1-1	0) ar	nd RECOMMENDA	101T <i>i</i>	NS					#
FIELD		RE	EPAIRS NEEDED	✓		_			RATING	5
			RESEAL SEAMS		RESEAL B	LIST	ERS or RIDGING	✓	SS RATING	8
	CLEA	AR R	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPA	AIR SUSPECTED		RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND		RE	EPAIRS NEEDED						RATING	8
	F	ILL P	ONDING AREAS		FIX	DE	CK DEFLECTION			
FLASHING		REPAIRS NEEDED							RATING	4
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT	✓	SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL	⋖		
	BASE FLAS		RAZE CRACKING	✓						
DRAINAGE			EPAIRS NEEDED						RATING	8
	ADD/E	ENHA	ANCE CRICKETS		ADD/EN	NHAN	ADD GUTTER			
	GUTT	ED E	CLEAR DRAINS REPAIR NEEDED		GUTTE	D CC				
PENETRATION	GOTT		EPAIRS NEEDED		GOTTE	K CC		RATING	4	
LINETTOTION			EAL/REPAIR ALL		RES	EAL/		1001110	7	
					RESEAL/REPAIR SELECT					
MAINTENANCE	K	KEEP	DRAINS CLEAN	✓	KEEP WATERWAYS CLEAN					
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR R	OOF OF DEBRIS		HV	AC F	REPAIR NEEDED			
			IAT SUSPECTED			_,	SUTTERS CLEAR	✓		
LEAKS	E	VIDI	ENCE OF LEAKS		YES	✓	NO			_
	ON - OVERALL SYS	STE	M RATING							
VERY POOR									T REPAIRS ONLY	
POOR					REPLACE OR (CAOC	IN 1-2 YEARS - 9			
FAIR									AT IN 3-5 YEARS	
MARGINAL						•			T IN 5-10 YEARS	_
GOOD					^		- REPLACE OR C		IN 10-15 YEARS	
	ATEC					TINLT	II NOOF IS LESS	, i 🗆	AND LEWES OFF	
BUDGET ESTIMA		ANAE	DIATE REPAIRS A	SPE	COMMENDED				\$8,000) (()
			YEARLY PREVEN						\$1,500	
			. L. MALTITAL V LIN	11VL					Ψ1,000	2.00

ROOF RECOATING





The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.



BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 22, 2014						
BUILDING	D1						
ROOF SQ FT	15,500						



\$232,500.00

DAIL	July 22, 2014					F	ENGINEERING			
BUILDING	D1						E	VGIVEERIN	IS SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	15,500							_		
ROOF CONSTRU								_		
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS	✓	15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\checkmark	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12		2:12	✓	3:12		SS 6:12	✓
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	1OITA	NS					#
FIELD	,		PAIRS NEEDED						RATING	4
			RESEAL SEAMS		R	LIST	ERS or RIDGING	✓	SS RATING	8
	CLE/		OF OF DEBRIS				REPAIR NEEDED			
	DECK	DECK REPAIR SUSPECTED REPAIRS NEEDED				VIEIVI	BRANE BRITTLE	✓	5.7010	
PITCH/POND	_	FILL PONDING AREAS				/ DE/	CK DEFLECTION		RATING	4
	FILL PUNDING AREAS				FIX	DE	✓			
FLASHING		ΡF	PAIRS NEEDED						RATING	4
FLASIIING	RESEAL/REPAIR ALL				DES	ΕΔΙ/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT						L/RECOAT WALL	I	OO RATING	U
	BASE FLASH CRAZE CRACKING									
DRAINAGE			PAIRS NEEDED						RATING	2
	ADD/E		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW			
			CLEAR DRAINS	\			ADD GUTTER			
	GUTT	ER R	EPAIR NEEDED		GUTTER COATING NEEDED					
PENETRATION		RE	PAIRS NEEDED					RATING	4	
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
MAINTENANCE	k	KEEP	DRAINS CLEAN	\	KEEP	WAT				
	SPOT RE	PAIR	UNTIL REROOF	✓			TRIM TREES	✓		
			OOF OF DEBRIS		HV	AC F	REPAIR NEEDED			
			AT SUSPECTED							
LEAKS	E	VIDE	NCE OF LEAKS		YES	✓	NO			_
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	T REPAIRS ONLY	
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - \$	SPO	T REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	ИМЕС	DIATE REPAIRS A	S RE	ECOMMENDED				\$2,000	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The photo below shows a very large ponding area around a slow or plugged drain.



The photo below shows repairs to ponding areas.



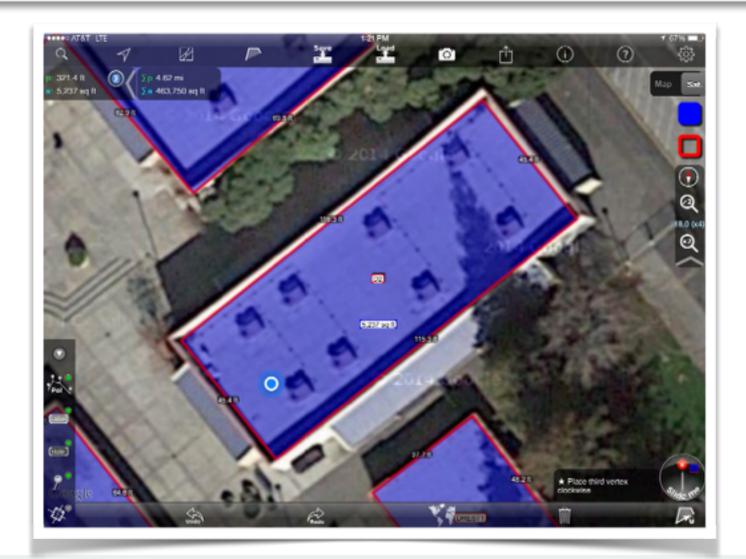
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 22, 2014						
BUILDING	D2						
ROOF SQ FT	5,200						



\$78,000.00

DAIL	July 22, 2014					ENGINEERING				
BUILDING	D2						E	NGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	5,200						_	_		
ROOF CONSTRU		_			5.40.7/54.50		40.45.754.50		45. 1/54.00	
ROOF AGE	SS 2007		BUR 2006	_	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM	\	SCUPPERS		SS GUTTERS	\	OVER EDGE			
SLOPE	NONE		1:12	\checkmark	2:12		3:12		SS 6:12	✓
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED	✓					RATING	6
		F	RESEAL SEAMS		REPAIR B	LIST	ERS or RIDGING	~	SS RATING	8
	CLEA	AR RO	OF OF DEBRIS		DE	CK F	REPAIR NEEDED			
			IR SUSPECTED		RESEAL/E	PDI Δ	CE FASTENERS			
PITCH/POND					TREGEREN	(1 L)	OL MOTERALINO		RATING	5
111011/1 0145	F		ONDING AREAS	V	FIX	DE	CK DEFLECTION		1011110	
FLASHING		RE	PAIRS NEEDED						RATING	5
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL			
	BASE FLASH CRAZE CRACKING									
DRAINAGE		RE	PAIRS NEEDED						RATING	4
	ADD/E	ENHA	NCE CRICKETS		ADD/EN	1AH	ICE OVERFLOW			
			CLEAR DRAINS							
	GUTT		EPAIR NEEDED		GUTTE	R CC				
PENETRATION			PAIRS NEEDED		DEO	_ ^ /			RATING	5
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT	✓		
MAINTENANCE	k	(FFP	DRAINS CLEAN		KEEP WATERWAYS CLEAN					
W/ WITTER WOL			UNTIL REROOF		TXEE!	V V / ()	TRIM TREES			
			OF OF DEBRIS		HV	AC F	REPAIR NEEDED			
	F	IAZM/	AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING							
VERY POOR		_		_	REPLACE OR C	CAT	IMMEDIATELY - S	SPO	Γ REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL									T IN 5-10 YEARS	
GOOD						SS			IN 10-15 YEARS	
EXCELLENT					0		IF ROOF IS LESS			
BUDGET ESTIMA	ATES									
		MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$3,500	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	
									•	

ROOF RECOATING





The photo below shows some ponding and some membrane ridging.



Keep drains clear to prevent ponding and membrane degradation.





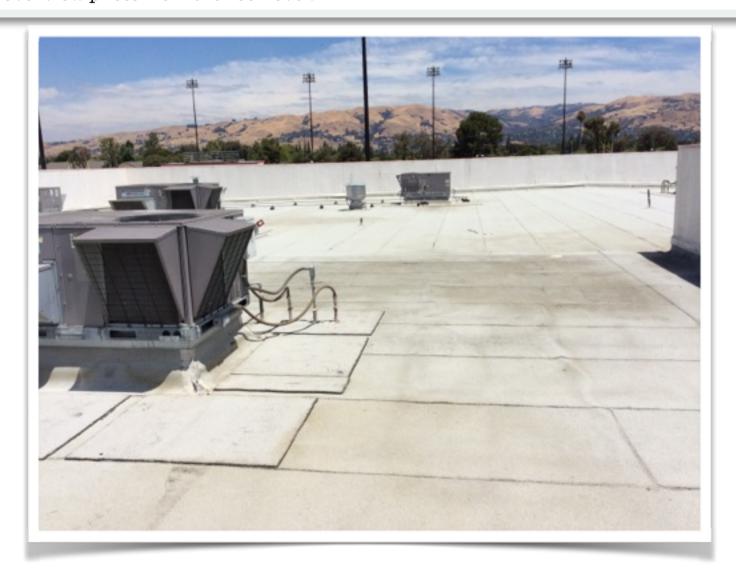


\$208,500.00

DAIL	July 22, 2014						F		I N F F R I N	-
BUILDING	D3						E	NGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	13,900						_	_		
ROOF CONSTRU					5.40.7/54.50		40.45.754.50		45. 1/54.00	
ROOF AGE	SS 2007		BUR 2004	_	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM	\	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	✓
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED	✓					RATING	5
		F	RESEAL SEAMS		REPAIR B	LIST	ERS or RIDGING	~	SS RATING	8
	CLEA	AR RC	OF OF DEBRIS		DE	CK F	REPAIR NEEDED			
			R SUSPECTED		RESEAL/E	PDI Δ	CE FASTENERS			
PITCH/POND					TREGEREN	\	OL MOTERALINO		RATING	5
11101111 0110	F		ONDING AREAS	V	FIX	DE	CK DEFLECTION		1011110	
					. "					
FLASHING		RE	PAIRS NEEDED						RATING	5
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT				RE	SEA	L/RECOAT WALL			
	BASE FLAS	H CR	AZE CRACKING	✓						
DRAINAGE		RE	PAIRS NEEDED	\checkmark					RATING	4
	ADD/E	ENHA	NCE CRICKETS		ADD/EN	1AH	ICE OVERFLOW			
			CLEAR DRAINS							
	GUTT		EPAIR NEEDED		GUTTE	R CC	DATING NEEDED			
PENETRATION			PAIRS NEEDED						RATING	5
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
MAINTENANCE	la la	/EED	DRAINS CLEAN		KEED	\ \ /\T	ERWAYS CLEAN			
WAINTENANCE			UNTIL REROOF		KLLI	VVAI	TRIM TREES			
			OF OF DEBRIS		HV	AC F	REPAIR NEEDED			
			AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SY:	STEM	RATING							
VERY POOR					REPLACE OR C	OAT	IMMEDIATELY - S	SPO	Γ REPAIRS ONLY	
POOR					REPLACE OR (COAT	- IN 1-2 YEARS - S	SPO	Γ REPAIRS ONLY	
FAIR									AT IN 3-5 YEARS	
MARGINAL									T IN 5-10 YEARS	
GOOD						SS			IN 10-15 YEARS	_
EXCELLENT					0		IF ROOF IS LESS			
BUDGET ESTIMA	ATES									
		MMED	IATE REPAIRS A	S RF	ECOMMENDED		UNDER COM	NTR/	ACTOR WARRAN	VTY
	"		EARLY PREVEN						\$1,500	
									ų 1,000	2 2 2

ROOF RECOATING

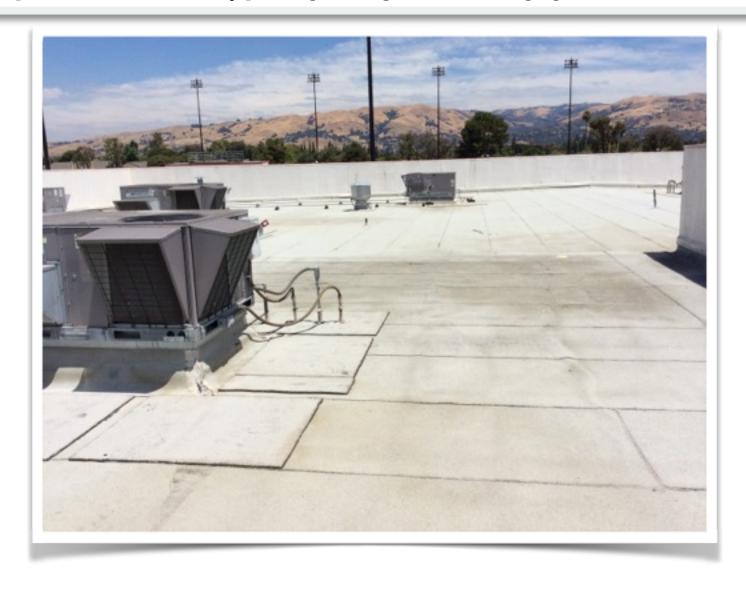




The photo below shows a large area of ponding from deck deflection.



The photo below shows heavy ponding causing membrane ridging and failure.



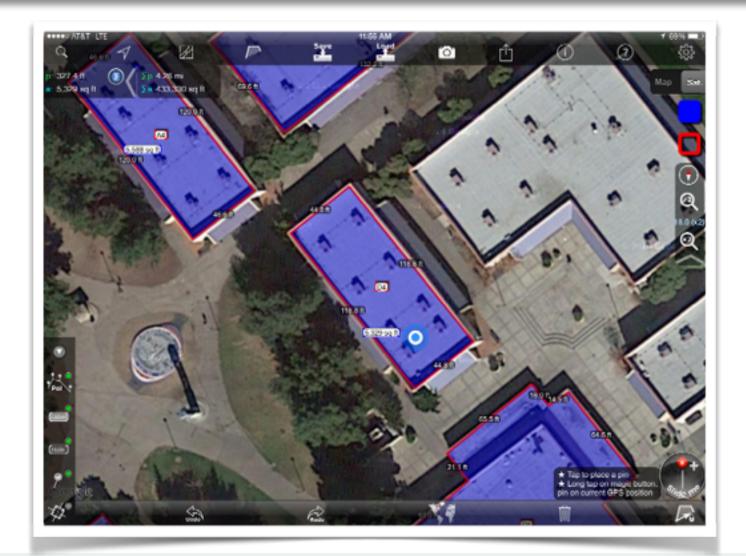
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 22, 2014						
BUILDING	D4						
ROOF SQ FT	5,600						



\$84,000.00

DAIL	July 22, 2014					ENGINEERING				
BUILDING	D4						E	VGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	5,600							_		4
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007		BUR 2006	✓	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	✓	SINGLE PLY		BUR	\checkmark	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	\
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	1OITA	NS					#
FIELD			PAIRS NEEDED						RATING	6
I ILLU			RESEAL SEAMS		D	LICT	ERS or RIDGING	✓	SS RATING	
	01.54							OO TATIIVO		
			OOF OF DEBRIS				REPAIR NEEDED			
	DECK		IR SUSPECTED		RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND	_		PAIRS NEEDED				CK DEFLECTION		RATING	6
	FILL PONDING AREAS				FIX	(DE(
EL ACHINO		DE	DAIDS NEEDED						DATING	E
FLASHING			PAIRS NEEDED		DEG	= \1 /	REPAIR SELECT		RATING SS RATING	5
	RESEAL/REPAIR ALL						L/RECOAT WALL		33 RATING	8
	RESEAL/RECOAT AC DUCT BASE FLASH CRAZE CRACKING				IXL	.SLA	L/NECOAT WALL			
DRAINAGE	<i>D</i> , (<i>C</i>) 1, (<i>C</i>)		PAIRS NEEDED	✓ ✓					RATING	4
270 02	ADD/E		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW		7011110	
			CLEAR DRAINS							
	GUTT	ER R	EPAIR NEEDED		GUTTE	R CC				
PENETRATION		RE	PAIRS NEEDED						RATING	5
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
MAINTENANCE	k	KEEP	DRAINS CLEAN	\checkmark	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RO	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
	H	lAZM/	AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO			
ROOF CONDITIO	ON - OVERALL SY	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	Γ REPAIRS ONLY	
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - 9	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	DIATE REPAIRS A	S RE	ECOMMENDED				\$2,000	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The photo below shows some ridging in the field membrane.



The photo below shows ponding around a slow or blocked drain.



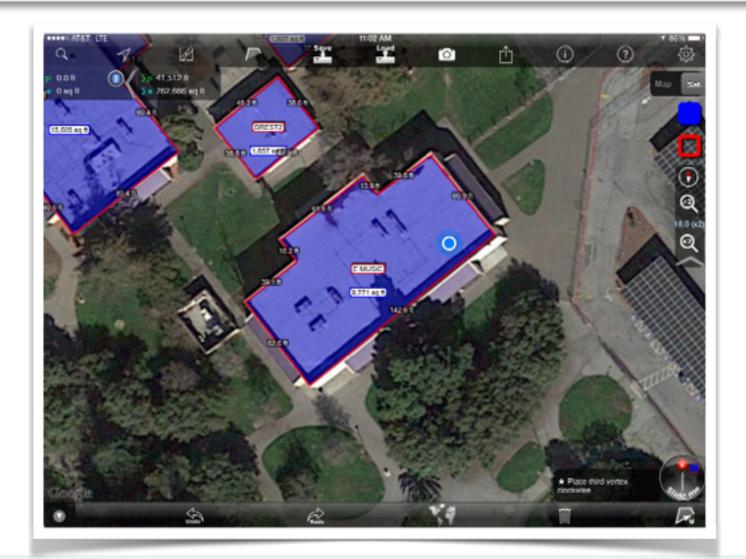




\$145,500.00

DAIL	July 20, 2014					ENGINEERING				
BUILDING	E						E	VGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	9,700							_		
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	4
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	\
ROOF CONDITIO	ON - RATINGS (1-1	0) and	H RECOMMENDA	1OITA	NS	-				#
FIELD			PAIRS NEEDED						RATING	4
TILLD			RESEAL SEAMS		D	LICT	ERS or RIDGING	✓	SS RATING	
	01 5							OO RATING		
			OOF OF DEBRIS				REPAIR NEEDED			
	DECK		IR SUSPECTED		ľ	ИЕМ	BRANE BRITTLE	✓		_
PITCH/POND	_		PAIRS NEEDED						RATING	6
	FILL PONDING AREAS				FIX DECK DEFLECTION					
FLASHING		DE	PAIRS NEEDED						RATING	2
FLASHING	RESEAL/REPAIR ALL				DEG	=	REPAIR SELECT		SS RATING	3
							L/RECOAT WALL		33 RATING	8
	RESEAL/RECOAT AC DUCT BASE FLASH CRAZE CRACKING						YWOOD REPAIR	_		
DRAINAGE	<i>D</i> / (02 1 2/ (0		PAIRS NEEDED		OOME WAL		TWOOD RELYMIN		RATING	5
510 0 (32	ADD/E		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW		7011110	
			CLEAR DRAINS							
	GUTT	ER R	EPAIR NEEDED		ADD GUTTER GUTTER COATING NEEDED					
PENETRATION		RE	PAIRS NEEDED						RATING	5
		RESE	AL/REPAIR ALL		RES	EAL/			_	
			RAISE CURBS							
MAINTENANCE	k	KEEP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES	\		
	CLEA	AR RC	OF OF DEBRIS		HV	AC F	REPAIR NEEDED			
	H	IAZM <i>A</i>	AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO			
ROOF CONDITIO	ON - OVERALL SY	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	T REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - 9	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$5,600	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The photo below shows the walls needing repair and a new coating.



The photo below shows blistering of the membrane at the wall base.





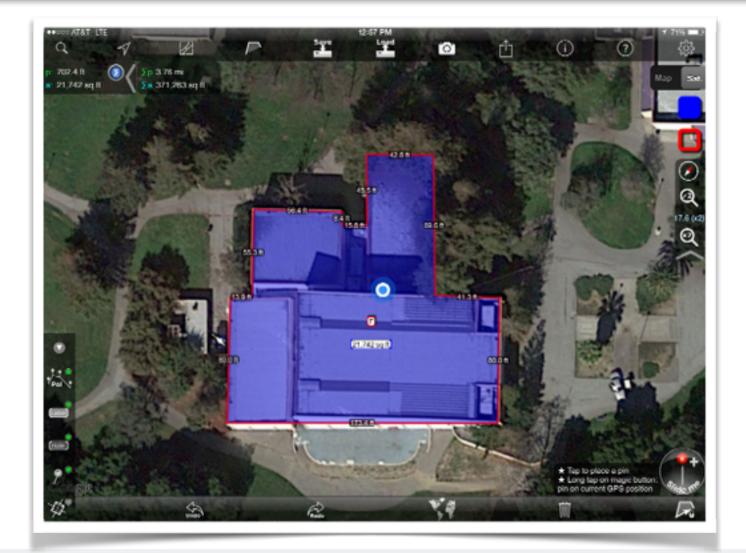


\$217,000.00

\$282,100.00

BUILDING F ROOF SQ FT 21,700 ROOF CONSTRUCTION ROOF AGE UNKOWN SS 1976 ✓ 5-10 YEARS 10-15 YEAR	ENGINEER	RING SERVICES FOR THE BUILDING ENVE	ELOPE
ROOF CONSTRUCTION			
ROOF AGE UNKOWN SS 1976 V 5-10 YEARS 10-15 YEAR		151 VEADS	
		,	
DECK TYPE SS METAL BUR PLYWOOD PLANK CONCRE		LW CONCRETE	
INSULATION BUR NONE ISO FIBER PERL		STYRO	
INSUL THICK 1 INCH 2 INCH 3 INCH 4 IN		TAPERED	
MEMBRANE METAL SS SINGLE PLY BUR MOD		TWO SYSTEMS	
MEM SURFACE COATING MS CAP ✓ GRAVEL SMOC	TH		
FLASHINGS CAPSHEET			
DRAINAGE JOSAM SCUPPERS SS GUTTERS OVER ED			
SLOPE NONE ☐ 1:12 ☐ 2:12 ☑ 3	:12	SS 4:12	
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS			#
FIELD REPAIRS NEEDED		RATING	2
RESEAL SEAMS BLISTERS or RIDGI	NG 🗹	SS RATING	2
CLEAR ROOF OF DEBRIS DECK REPAIR NEED	ED		
DECK REPAIR SUSPECTED RESEAL/RPLACE FASTENE	RS 🔲		
PITCH/POND REPAIRS NEEDED		RATING	3
FILL PONDING AREAS FIX DECK DEFLECTI	ON 🗹	1	
FLASHING REPAIRS NEEDED		RATING	3
RESEAL/REPAIR ALL RESEAL/REPAIR SELE		SS RATING	2
RESEAL/RECOAT AC DUCT RESEAL/RECOAT WA	LL		
BASE FLASH CRAZE CRACKING		DATING	0
DRAINAGE REPAIRS NEEDED ADD/ENHANCE OVEREI)W 🗖	RATING	3
ADD/ENHANCE CRICKETS ADD/ENHANCE OVERFLO CLEAR DRAINS ADD/ENHANCE OVERFLO ADD GUTT		•	
GUTTER REPAIR NEEDED GUTTER COATING NEEDED			
PENETRATION REPAIRS NEEDED		RATING	4
RESEAL/REPAIR ALL RESEAL/REPAIR SELE	СТ		
MAINTENANCE KEEP DRAINS CLEAN KEEP WATERWAYS CLE	AN		
SPOT REPAIR UNTIL REROOF <a>	ES 🗹	ſ	
CLEAR ROOF OF DEBRIS HVAC REPAIR NEED	ED		
HAZMAT SUSPECTED ✓			
LEAKS EVIDENCE OF LEAKS YES	NO 🔲		
ROOF CONDITION - OVERALL SYSTEM RATING			
VERY POOR REPLACE OR COAT IMMEDIATEL	r - SPO	OT REPAIRS ONLY	
POOR REPLACE OR COAT IN 1-2 YEAR	3 - SPO	OT REPAIRS ONLY	
FAIR REPLACE	OR CO	OAT IN 3-5 YEARS	
MARGINAL REPLACE	OR CO	AT IN 5-10 YEARS	
GOOD REPLACE O	R COA	T IN 10-15 YEARS	
EXCELLENT ONLY IF ROOF IS L	ESS TH	IAN 5 YEARS OLD	
BUDGET ESTIMATES			
BUDGET ESTIMATES IMMEDIATE REPAIRS AS RECOMMENDED		\$0	0.00

ROOF RECOATING





The photo below shows the BUR system failing - this system is over twenty years old.



The photo below shows the 70's metal roof very deteriorated.







\$43,500.00

DATE	July 25, 2014							ENGINEERING			
BUILDING	G3						E	ENGINEERING SERVICES FOR THE BUILDING ENVELOPE			
ROOF SQ FT	2,900						-	_			
ROOF CONSTRU											
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS		SINGLE PLY	_	BUR		MOD BIT		TWO SYSTEMS		
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	_									
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS		OVER EDGE				
SLOPE	NONE		1:12		2:12		3:12		SS 6:12		
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	1OITA	NS					#	
FIELD		RE	PAIRS NEEDED						RATING	2	
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING	\	SS RATING	8	
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED				
	DECK	REPA	IR SUSPECTED	✓	1	ИΕМ	BRANE BRITTLE	✓			
PITCH/POND		RE	PAIRS NEEDED						RATING	6	
	FILL PONDING AREAS				FIX	DEC	CK DEFLECTION				
FLASHING		RE	PAIRS NEEDED						RATING	3	
	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		SS RATING	8	
	RESEAL/RECOAT AC DUCT						_/RECOAT WALL				
	BASE FLAS		AZE CRACKING		REPLA	ACE /	WALL PLYWOOD				
DRAINAGE			PAIRS NEEDED		4.00 (5)				RATING	5	
	ADD/E		NCE CRICKETS	✓	ADD/EI	NHAN	ICE OVERFLOW	✓			
	GUTT		CLEAR DRAINS EPAIR NEEDED		ADD GUTTER GUTTER COATING NEEDED						
PENETRATION	GOTT		PAIRS NEEDED		GUTTER COATING NEEDED				RATING	4	
T ENE TO WHO IT			EAL/REPAIR ALL		RESEAL/REPAIR SELECT				10.11110	·	
			RAISE CURBS	V							
MAINTENANCE	k	KEEP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN				
	SPOT RE	PAIR	UNTIL REROOF	✓			TRIM TREES	~			
	CLEA	AR RO	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED	✓			
	F	HAZM.	AT SUSPECTED	✓							
LEAKS	E	EVIDE	NCE OF LEAKS		YES	✓	NO				
ROOF CONDITIO	ON - OVERALL SY	STEM	1 RATING								
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	Γ REPAIRS ONLY	✓	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPOT	Γ REPAIRS ONLY		
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS		
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS		
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS		
EXCELLENT					C	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD		
BUDGET ESTIMA	ATES										
	IN	MMED	DIATE REPAIRS A	S RE	COMMENDED				\$0	0.00	
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00	

ROOF RECOATING

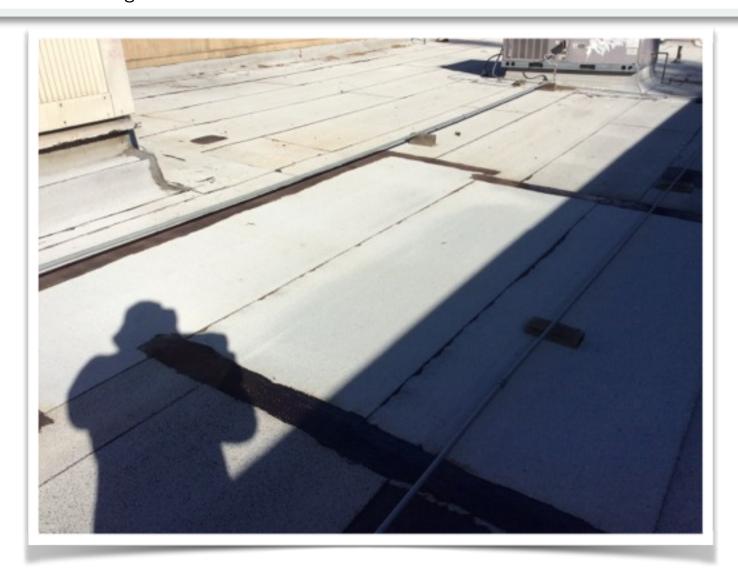




The photo below shows the wall plywood needs to be replaced.



The increased degradation of the membrane from the wall leaks can be seen.



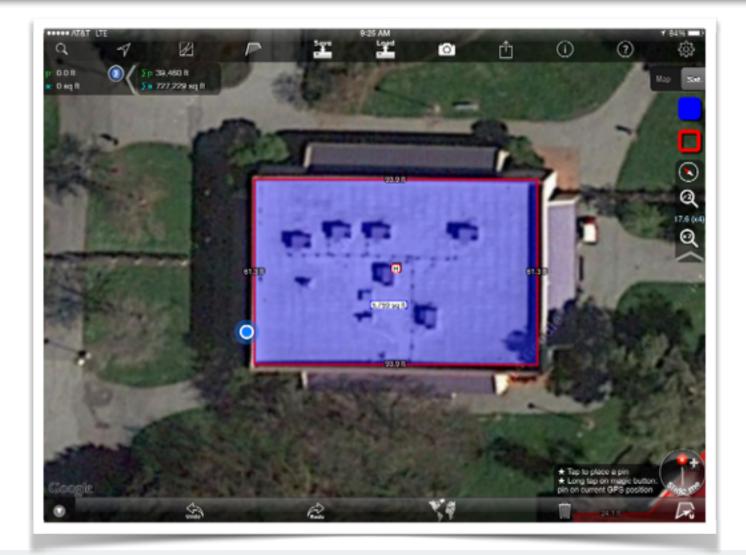
BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 25, 2014							
BUILDING	Н							
ROOF SQ FT	5,700							



\$85,500.00

BUILDING	H E N G I N E E R I N ENGINEERING SERVICES FOR THE BUILDING ENVEL											
ROOF SQ FT	5,700								ocinico foi inc origino cinc			
ROOF CONSTRUCTION												
ROOF AGE	SS 2007	⋖	0-5 YEARS		5-10 YEARS	✓	10-15 YEARS		15+ YEARS			
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE			
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO			
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED			
MEMBRANE	METAL SS SINGLE PLY				BUR	\	MOD BIT		TWO SYSTEMS			
MEM SURFACE	COATING MS CAP				GRAVEL		SMOOTH	✓				
FLASHINGS	CAPSHEET	✓										
DRAINAGE	JOSAM	~	SCUPPERS		SS GUTTERS	✓	OVER EDGE					
SLOPE	NONE		1:12	✓	2:12		3:12		SS 6:12	✓		
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#		
FIELD		RE	PAIRS NEEDED						RATING	8		
		F	RESEAL SEAMS		BLISTERS or RIDGING				SS RATING	8		
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			_		
	DECK I	REPA	IR SUSPECTED		N	ИΕМ	BRANE BRITTLE					
PITCH/POND		RE	PAIRS NEEDED						RATING	8		
	F	ILL P	ONDING AREAS		FIX	DE	CK DEFLECTION					
FLASHING	REPAIRS NEEDED								RATING	5		
RESEAL/REPAIR ALL						REPAIR SELECT		SS RATING	8			
RESEAL/RECOAT AC DUCT							WALL FLASHING	✓				
DDAINAGE	BASE FLASH CRAZE CRACKING				SOME WAL	L PL	YWOOD REPAIR		DATINO	-		
DRAINAGE	REPAIRS NEEDED ADD/ENHANCE CRICKETS				4 DD/EN	.ILI A N	NCE OVERFLOW		RATING	7		
ADD/ENHANCE CRI					ADD/EI	ипаг	ADD GUTTER					
	GUTT		EPAIR NEEDED		GUTTER COATING NEEDE							
PENETRATION	REPAIRS NEEDED								RATING	8		
		RESE	AL/REPAIR ALL		RESEAL/REPAIR SELEC							
			RAISE CURBS									
MAINTENANCE	k	KEEP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN					
			UNTIL REROOF				TRIM TREES					
			OOF OF DEBRIS		HV	AC F	REPAIR NEEDED					
LEAKS			AT SUSPECTED ENCE OF LEAKS		YES	7	NO					
					TES	•	NO			_		
VERY POOR	ON - OVERALL SYS	SIEIV	IRATING		REDI ACE OR C	·OAT		SPO-	Γ REPAIRS ONLY			
POOR												
FAIR					REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY REPLACE OR COAT IN 3-5 YEARS							
MARGINAL					REPLACE OR COAT IN 5-10 YEARS							
GOOD					SS - REPLACE OR COAT IN 10-15 YEARS							
EXCELLENT					ONLY IF ROOF IS LESS THAN 5 YEARS O							
BUDGET ESTIMA	ATES											
IMMEDIATE REPAIRS AS RECOMMENDED \$2,500.00												
		Y	EARLY PREVEN	TIVE	IVE MAINENANCE					0.00		
								**				

ROOF RECOATING





The photo below shows the walls needing a new sealant.



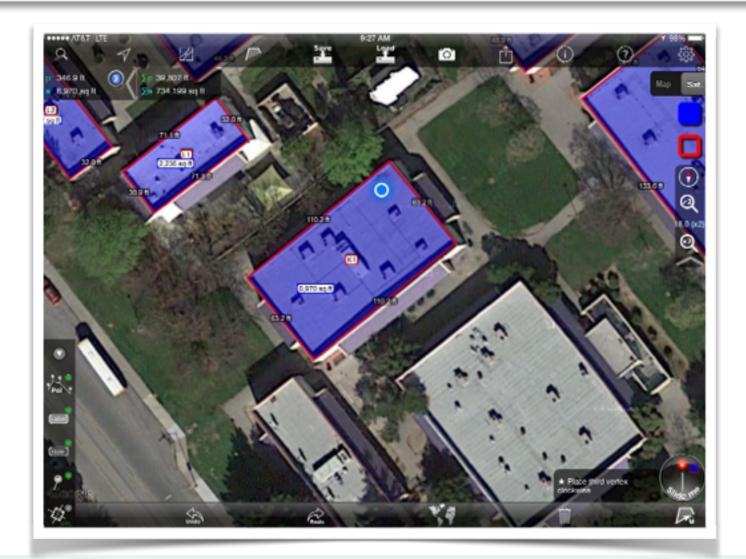




\$105,000.00

BUILDING	K1		Ē	E N G I N E E R I N G ENGINEERING SERVICES FOR THE BUILDING ENVELOPE						
ROOF SQ FT	7,000									
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	⋖	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	I
DECK TYPE	METAL		PLYWOOD	\	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	⋖	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	⋖	SINGLE PLY		BUR	\checkmark	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\checkmark	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	⋖								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	\	OVER EDGE			
SLOPE	NONE		1:12	4	2:12		3:12		SS 6:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	101T	NS					#
FIELD		REI	PAIRS NEEDED						RATING	3
		R	RESEAL SEAMS		В	LIST	ERS or RIDGING	✓	SS RATING	8
	CLEA	AR RO	OF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPAI	R SUSPECTED		MEMBRANE BRITTLE					
PITCH/POND		REF	PAIRS NEEDED						RATING	6
	FILL PONDING AREAS				FIX	(DE(CK DEFLECTION			
FLASHING	REPAIRS NEEDED								RATING	3
	RESEAL/REPAIR ALL RESEAL/RECOAT AC DUCT				RESEAL/REPAIR SELECT				SS RATING	8
					RE	SEA	L/RECOAT WALL	_		
	BASE FLAS		AZE CRACKING		SOME WAL	L PL	YWOOD REPAIR	✓		_
DRAINAGE	REPAIRS NEEDED								RATING	5
	ADD/ENHANCE CRICKETS				ADD/EN	NHAN	NCE OVERFLOW	✓		
	GUTT		CLEAR DRAINS		GUITTE	B CC	ADD GUTTER DATING NEEDED			
PENETRATION	GUTTER REPAIR NEEDED REPAIRS NEEDED				GOTTE	IX OC	ATING NEEDED		RATING	4
LILLIANION	RESEAL/REPAIR ALL				RES	EAL/	REPAIR SELECT		1011110	
			RAISE CURBS							
MAINTENANCE	K	(EEP [DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR (JNTIL REROOF	✓			TRIM TREES			
	CLEA	AR RO	OF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
			AT SUSPECTED							
LEAKS	E	VIDE	NCE OF LEAKS		YES		NO	✓		_
	ON - OVERALL SYS	STEM	RATING							
VERY POOR									T REPAIRS ONLY	
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY									✓
FAIR					REPLACE OR COAT IN 3-5 YEARS					
MARGINAL					REPLACE OR COAT IN 5-10 YEARS SS - REPLACE OR COAT IN 10-15 YEARS					
GOOD										
EXCELLENT					0	INLY	IF ROOF IS LESS	i IHA	AN 5 YEARS OLD	
BUDGET ESTIMA		45.45	LATE DEBALES	0.55					^-) 00
				AS RECOMMENDED						0.00
		Y	EARLY PREVEN	IIVE	MAINENANCE				\$1,500	1.00

ROOF RECOATING

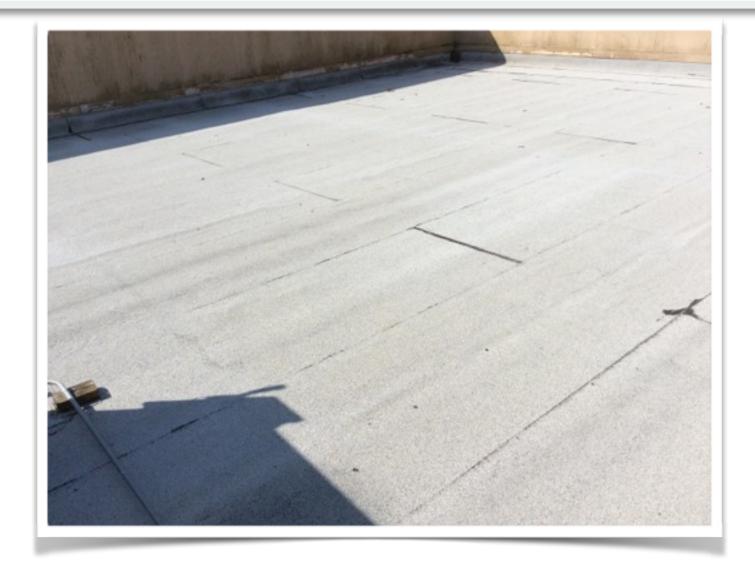




The photo below shows the walls needing repair and a new coating.



The photo below shows ridging of the membrane.



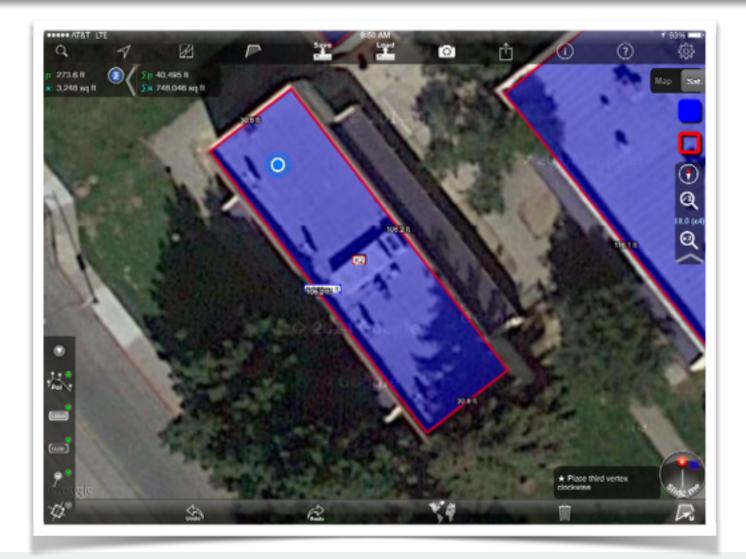




\$48,000.00

DAIL	July 20, 2014								C N E E D N	Ę	
BUILDING	K2				E B				N G I N E E R I N G INGINEERING SERVICES FOR THE BUILDING ENVELOPE		
ROOF SQ FT	3,200							_			
ROOF CONSTRU	JCTION										
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS SINGLE PLY				BUR	✓	MOD BIT		TWO SYSTEMS	4	
MEM SURFACE	COATING MS CAP				GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET										
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE				
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	✓	
ROOF CONDITIO	ON - RATINGS (1-1	0) and	H RECOMMENDA	1OIT2	NS					#	
FIELD	70011100 (1-1		PAIRS NEEDED		10	-		-	RATING	4	
TILLD					D	LICT		✓	SS RATING		
			RESEAL SEAMS		BLISTERS or RIDGING				33 NATING	O	
			OOF OF DEBRIS		DECK REPAIR NEEDED						
	DECK		IR SUSPECTED		ı	ИЕМ	✓				
PITCH/POND			PAIRS NEEDED						RATING	6	
	FILL PONDING AREAS				FIX	DE					
EL ACLUNO	DEDAIDO NEEDED								DATING	0	
FLASHING	REPAIRS NEEDED				DEC	- ^ 1 /			RATING	3	
			COATAC DUCT		RESEAL/REPAIR SELECT RESEAL/RECOAT WALL				SS RATING	8	
	RESEAL/RECOAT AC DUCT						YWOOD REPAIR	_			
DRAINAGE	BASE FLASH CRAZE CRACKING REPAIRS NEEDED				SOME WAL		TWOOD INLIPAIN		RATING	5	
DIV (IIV) (OL	ADD/F		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW		10.01110	J	
	, , , , ,		CLEAR DRAINS		ADD GUTTER						
	GUTT		EPAIR NEEDED		GUTTE	R CC	DATING NEEDED				
PENETRATION	REPAIRS NEEDED								RATING	4	
		RESE	AL/REPAIR ALL	✓	✓ RESEAL/REPAIR SELE						
		RAISE CURBS									
MAINTENANCE	K	KEEP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN				
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES	✓			
	CLEA	AR RC	OOF OF DEBRIS		HV	AC F	REPAIR NEEDED				
	H	IAZM <i>A</i>	AT SUSPECTED								
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO				
ROOF CONDITIO	ON - OVERALL SY	STEM	RATING								
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	T REPAIRS ONLY		
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - \$	SPO	Γ REPAIRS ONLY		
FAIR	REPLACE OR COAT IN 3-5 YEARS										
MARGINAL	REPLACE OR COAT IN 5-10 YEARS										
GOOD					SS - REPLACE OR COAT IN 10-15 YEARS						
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	N 5 YEARS OLD		
BUDGET ESTIMA	ATES										
		MMED	IATE REPAIRS A	S RE	COMMENDED				\$4,000	0.00	
		Y	EARLY PREVEN	TIVE	IVE MAINENANCE \$1,5					0.00	

ROOF RECOATING





The photo below shows that repairs are needed on penetration details.



The photo below shows signs of leaking and wall moisture penetration.







\$165,000.00

DAIL	July 20, 2014								C N C C N	Ę	
BUILDING	K3				ENG ENG				N G I N E E R I N G GIVEERING SERVICES FOR THE BUILDING ENVELOPE		
ROOF SQ FT	11,000							_			
ROOF CONSTRU	JCTION										
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE	I	ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS SINGLE PLY				BUR	\	MOD BIT		TWO SYSTEMS	✓	
MEM SURFACE	COATING MS CAP				GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	✓									
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE				
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	✓	
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	1OIT2	NS					#	
FIELD	70011000		PAIRS NEEDED		10	-		-	RATING	4	
I ILLD			RESEAL SEAMS		D	LICT	EDS or DIDCING	~	SS RATING		
	01 54				BLISTERS or RIDGING				OO RATING		
			OF OF DEBRIS		DECK REPAIR NEEDED						
	DECK		R SUSPECTED		ſ	ИΕМ	✓		_		
PITCH/POND	_		PAIRS NEEDED		,		CK DEFLECTION		RATING	6	
	FILL PONDING AREAS				FIX	DEC					
FLASHING									RATING	2	
FLASHING	REPAIRS NEEDED RESEAL/REPAIR ALL RESEAL/RECOAT AC DUCT BASE FLASH CRAZE CRACKING				DES	⊏∧ Ⅰ/	REPAIR SELECT		SS RATING	8	
							L/RECOAT WALL		33 RATING	0	
							YWOOD REPAIR				
DRAINAGE	REPAIRS NEEDED				002 7				RATING	5	
	ADD/E		NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW	~			
	CLEAR DRAINS						ADD GUTTER				
	GUTT	ER RI	EPAIR NEEDED		GUTTE	R CC	DATING NEEDED				
PENETRATION	REPAIRS NEEDED								RATING	4	
		RESE	AL/REPAIR ALL		RES	EAL/	L/REPAIR SELECT				
			RAISE CURBS								
MAINTENANCE	K	(EEP I	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN				
	SPOT RE	PAIR I	JNTIL REROOF				TRIM TREES	✓			
			OF OF DEBRIS		HV	/AC F	REPAIR NEEDED				
			AT SUSPECTED								
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	Y		_	
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING								
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	T REPAIRS ONLY		
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY										
FAIR	REPLACE OR COAT IN 3-5 YEARS										
MARGINAL	REPLACE OR COAT IN 5-10 YEARS										
GOOD					SS - REPLACE OR COAT IN 10-15 YEARS						
EXCELLENT					O	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD		
BUDGET ESTIMA	ATES										
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$4,500	0.00	
		Y	EARLY PREVEN	TIVE	VE MAINENANCE \$1					0.00	

ROOF RECOATING





The photo below shows ridging in the membrane.



The photo below shows the shiny edges of the membrane which is wearing out.



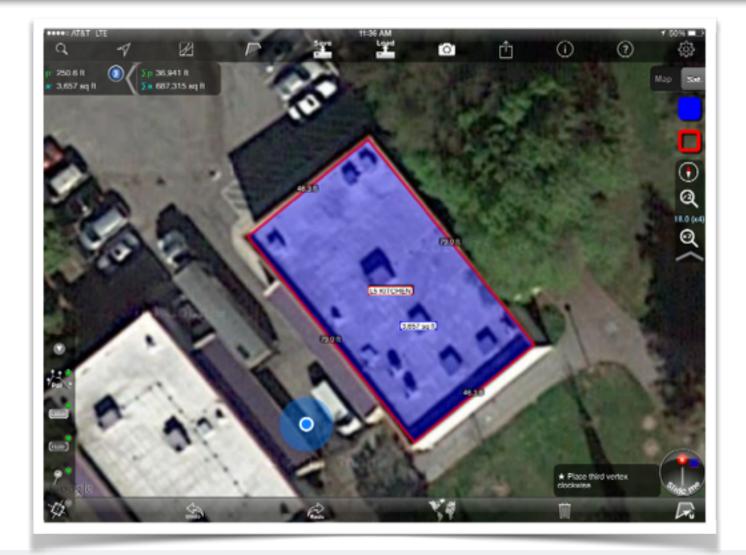




\$54,000.00

ROOF CONDITION ROOF ACCE SS 2007 SS 20	BUILDING	L1, L3, L4, L5							NGINEERIN	G I N E E R I N IG SERVICES FOR THE BUILDING ENVE	G
ROOF AGE	ROOF SQ FT	3,600							_		
DECK TYPE	ROOF CONSTRU	JCTION									
INSULATION NONE	ROOF AGE	SS 2007	⋖	0-5 YEARS		5-10 YEARS	\checkmark	10-15 YEARS		15+ YEARS	
MEMBRANE METAL SS	DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
MEMBRANE METAL SS SINGLE PLY BUR MOD BIT TWO SYSTEMS MEMBRANE MEMBRANE COUNTING MISCAP GRAVEL SMOOTH MEMBRANE	INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO	
MEM SURFACE COATING	INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
FLASHINGS CAPSHEET DRAINAGE JOSAM SCUPPERS S SUPTERS OVER EDGE NONE	MEMBRANE	METAL SS	\checkmark	SINGLE PLY		BUR	\checkmark	MOD BIT		TWO SYSTEMS	\checkmark
DRAINAGE SLOPE NONE 1.12 2.12 3.12 SS 6:12 ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS FIELD REPAIRS NEEDED RESEAL SEAMS BLISTERS OR RIDGING SS RATING REPAIRS NEEDED DECK REPAIR SUSPECTED MEMBRANE BRITTLE PITCH-POND REPAIRS NEEDED FILL PONDING AREAS FIX DECK DEFLECTION FILL PONDING AREAS FIX DECK DEFLECTION RESEAL-REPAIR ALL RESEAL-REPAIR SLEEDED RATING REPAIRS NEEDED RESEAL-REPAIR SLEEDED RATING REPAIRS NEEDED RATING RESEAL-REPAIR ALL RESEAL-REPAIR SLEEDED RATING REPAIRS NEEDED RATING REPAIRS NEEDED RATING RAT	MEM SURFACE	COATING	\	MS CAP	\checkmark	GRAVEL		SMOOTH	\checkmark		
SLOPE NONE 1:12 2 2:12 3:12 SS 6:12 ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS ## RESEAL SEAMS BLISTERS OF RIDGING SS RATING 8 CLEAR ROOF OF DEBRIS DECK REPAIR NEEDED RATING 7 RESEAL SEAMS FILL DECK REPAIR NEEDED RATING 7 PITCH/POND REPAIRS NEEDED RESEAUREPAIR SELECT RATING 7 FLASHING REPAIRS NEEDED RESEAUREPAIR SELECT SS RATING 8 RESEAUREPAIR ALL RESEAUREPAIR SELECT SS RATING 8 RESEAUREPAIR ALL RESEAUREPAIR SELECT SS RATING 8 RESEAUREPAIR ALL RESEAUREPAIR SELECT SS RATING 8 RESEAUREPAIR NEEDED RESEAUREPAIR SELECT RATING 7 ADD/ENHANCE CRICKETS ADD/ENHANCE OVERFLOW GUTTER COATING NEEDED RATING 7 RESEAUREPAIR NEEDED GUTTER COATING NEEDED RATING 7 RESEAUREPAIR NEEDED RESEAUREPAIR SELECT RAISE CURBS POT REPAIRS NEEDED RESEAUREPAIR SELECT RAISE CURBS POT REPAIR NEEDED RESEAUREPAIR SELECT RAISE CURBS POT REPAIR NEEDED RESEAUREPAIR NEEDED RESEAUREPAIR SELECT RAISE CURBS POT REPAIR NEEDED RESEAUREPAIR NEEDED RATING 7 RESEAUREPAIR NALL RESEAUREPAIR NEEDED RESEAUREPAIR NEEDED RATING 7 RESEAUREPAIR NALL RESEAUREPAIR NEEDED RESEAU	FLASHINGS	CAPSHEET	\checkmark								
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ROOF RECOATING



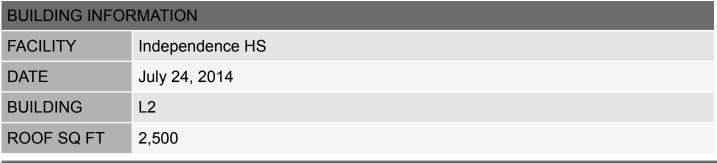


The photo below shows the wall in good shape.



The photo below shows penetrations in good shape.







\$37,500.00

BUILDING	L2						Ē	N	G I N E E R I N	G
ROOF SQ FT	2,500							NGINEERIN	NG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007	✓	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	✓
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	⋖	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	✓	SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	⋖								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	✓	2:12		3:12		SS 6:12	✓
ROOF CONDITIO	DN - RATINGS (1-1	0) and	RECOMMENDA	OITA	NS					#
FIELD	,		PAIRS NEEDED			RATING	2			
			RESEAL SEAMS		В	LIST	ERS or RIDGING	~	SS RATING	8
	CL E		OF OF DEBRIS				REPAIR NEEDED			
			R SUSPECTED				BRANE BRITTLE	V		
PITCH/POND			PAIRS NEEDED		'	VIL IVI	DIVANE DIVITIE		RATING	5
THOM/TOND	F		ONDING AREAS		FIX	(DE(CK DEFLECTION		17/11140	
FLASHING		REI	PAIRS NEEDED						RATING	3
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT		SS RATING	8
	RESEA	AL/RE	COAT AC DUCT		RESEAL/RI	ECO	AT SOUTH WALL			
	BASE FLAS	H CRA	AZE CRACKING	✓						
DRAINAGE		REI	PAIRS NEEDED						RATING	5
	ADD/E	IAHAI	NCE CRICKETS		ADD/EN	NHAN	NCE OVERFLOW			
		(CLEAR DRAINS		ADD GUTTER					
	GUTT		EPAIR NEEDED		GUTTE	R CC	DATING NEEDED			_
PENETRATION			PAIRS NEEDED						RATING	4
		RESE	AL/REPAIR ALL		RESEAL/REPAIR SELECT					
			RAISE CURBS							
MAINTENANCE	k	(EED I	DRAINS CLEAN		KEED	۱۸/ΔΤ				
WAINTENANCE			JNTIL REROOF		NELI	VVAI	ERWAYS CLEAN TRIM TREES			
			OF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
			T SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES	✓	NO			
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING		_		_			
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPO	T REPAIRS ONLY	V
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - \$	SPO ⁻	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD		SS - REPLACE OR COAT IN 10-15 YEARS								
EXCELLENT					O		IF ROOF IS LESS			
BUDGET ESTIMA	ATES									
	IN	MMED	IATE REPAIRS A	S RE	ECOMMENDED				\$0	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The photo below shows the membrane at the end of its lifetime.



The photo below shows that coating and sealing the wall is necessary.





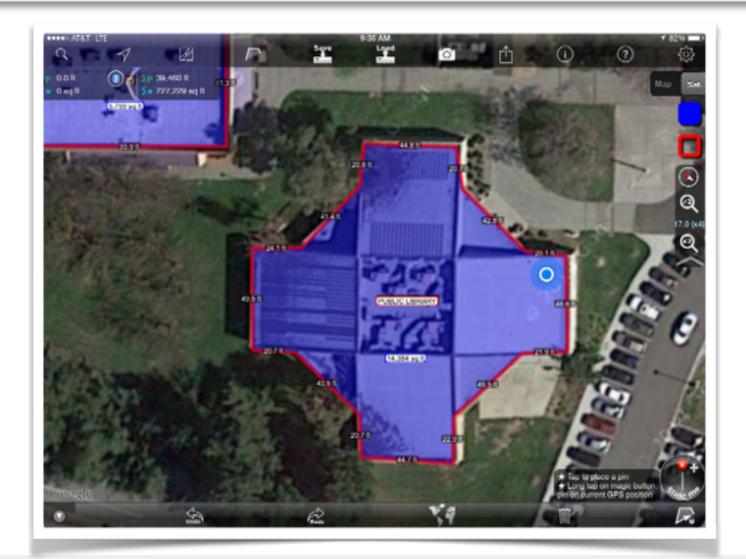


\$157,300.00

\$200,200.00

DAIL	July 25, 2014						F			6
BUILDING	Library						E	VGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	14,300							_		9
ROOF CONSTRU					5 40 V/5 4 DO		40.45.454.50		45. \(\(\)	
ROOF AGE	UNKOWN		SS 1976	_	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	SS METAL	_	BUR PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	BUR NONE	✓	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	\checkmark	OVER EDGE			
SLOPE	NONE		1:12	⋖	2:12		SS 3:12	✓	4:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) a	nd RECOMMENDA	OITA	NS					#
FIELD		R	EPAIRS NEEDED			RATING	2			
			RESEAL SEAMS		В	LIST	ERS or RIDGING	✓	SS RATING	2
	CLEA	AR R	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK	REP	AIR SUSPECTED	~	RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND		R	EPAIRS NEEDED						RATING	3
	F	ILL F	PONDING AREAS		FIX	(DE	CK DEFLECTION	✓		
FLASHING		R	EPAIRS NEEDED						RATING	3
		RES	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT		SS RATING	2
	RESEA	AL/R	ECOAT AC DUCT		RE	SEA	L/RECOAT WALL			
	BASE FLAS	H CF	RAZE CRACKING	✓						_
DRAINAGE		R	EPAIRS NEEDED						RATING	3
	ADD/E	ENH	ANCE CRICKETS	✓	ADD/EN	1AH	ICE OVERFLOW	✓		
			CLEAR DRAINS		ADD GUTTER GUTTER COATING NEEDED					
DENIETDATION	GUTT		REPAIR NEEDED		GUTTE	R CC	DATING NEEDED		DATING	
PENETRATION			EPAIRS NEEDED EAL/REPAIR ALL		RES	= ^1 /		RATING	4	
		KES	EAL/NEFAIR ALL		RES					
MAINTENANCE	k	(EEF	P DRAINS CLEAN		KEEP	WAT				
	SPOT RE	PAIF	UNTIL REROOF	V			TRIM TREES	V		
	CLEA	AR R	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
	H	IAZN	MAT SUSPECTED	✓						
LEAKS	E	EVID	ENCE OF LEAKS		YES		NO			
ROOF CONDITIO	ON - OVERALL SY	STE	M RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	FREPAIRS ONLY	✓
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	FREPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD							REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	ИМЕ	DIATE REPAIRS A	S RE	ECOMMENDED				\$0	0.00
			YEARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The photo below shows the BUR system on the lower level - the system is at its end.



The photo below shows the standing seam systems wall flashing needs to be replaced.



BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 28, 2014							
BUILDING	N1 and N2							
ROOF SQ FT	5,800							

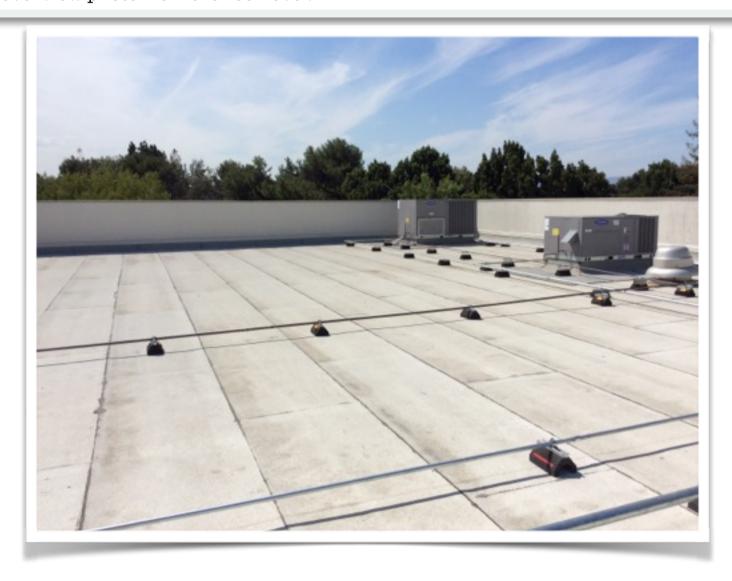


\$87,000.00

DAIL	Nd and NO								C I N E E D I N	6
BUILDING	N1 and N2						E	NGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	5,800							_		9
ROOF CONSTRU										
ROOF AGE	SS 2007		0-5 YEARS	_	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS	⋖	SINGLE PLY		BUR	\checkmark	MOD BIT		TWO SYSTEMS	✓
MEM SURFACE	COATING		MS CAP	\checkmark	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	⋖								
DRAINAGE	JOSAM	\checkmark	SCUPPERS		SS GUTTERS	\checkmark	OVER EDGE			
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	\checkmark
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	IOITA	NS					#
FIELD		REI	PAIRS NEEDED						RATING	8
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	8
	CL E4		OF OF DEBRIS				REPAIR NEEDED			
			R SUSPECTED				BRANE BRITTLE			
PITCH/POND	DEGIC		PAIRS NEEDED		'	VI⊏IVII	DRANE BRITTLE		RATING	0
PITCH/POND			ONDING AREAS		EIX	(DE(CK DEFLECTION		RATING	8
	·	ILL F	DINDING AILLAG		1 12	(DL				
FLASHING		RE	PAIRS NEEDED						RATING	8
			AL/REPAIR ALL		RES	EAL/I	REPAIR SELECT		SS RATING	8
	RESEAL/RECOAT AC DUCT						_/RECOAT WALL			
	BASE FLAS	H CRA	AZE CRACKING		SOME WAL	L PĽ	YWOOD REPAIR			
DRAINAGE		RE	PAIRS NEEDED						RATING	8
	ADD/E	ENHAI	NCE CRICKETS		ADD/E	NHAN	ICE OVERFLOW			
			CLEAR DRAINS				ADD GUTTER			
	GUTT	ER R	EPAIR NEEDED		GUTTE	R CC	ATING NEEDED			
PENETRATION		RE	PAIRS NEEDED						RATING	8
		RESE	AL/REPAIR ALL		RES	EAL/I				
			RAISE CURBS							
MAINTENANCE			DRAINS CLEAN		KEEP	WAT				
			JNTIL REROOF		1.00	/A O F	TRIM TREES			
			OF OF DEBRIS		п	AC F	REPAIR NEEDED			
LEAKS			NCE OF LEAKS		YES		NO			
					120		110		_	
VERY POOR	ON - OVERALL SY	SIEIVI	RATING	-		TAO	IMMEDIATELY -	SPOT	Γ REPAIRS ONLY	
							IN 1-2 YEARS - S			
POOR					NEFLACE OR (JUAI	_			
FAIR									AT IN 3-5 YEARS	
MARGINAL					00	םו ום			T IN 5-10 YEARS	
GOOD									IN 10-15 YEARS AN 5 YEARS OLD	
	ATEO					INLI	II NOOF IS LESS	, ii∃ <i>F</i>	AND ILANOULD	
BUDGET ESTIMA			IATE DEDAIDO A	C D					0.0	0.00
	II.		IATE REPAIRS A							0.00
		Y	EARLY PREVEN	IIVE	WAINENANCE				\$1,500	J.UU

ROOF RECOATING

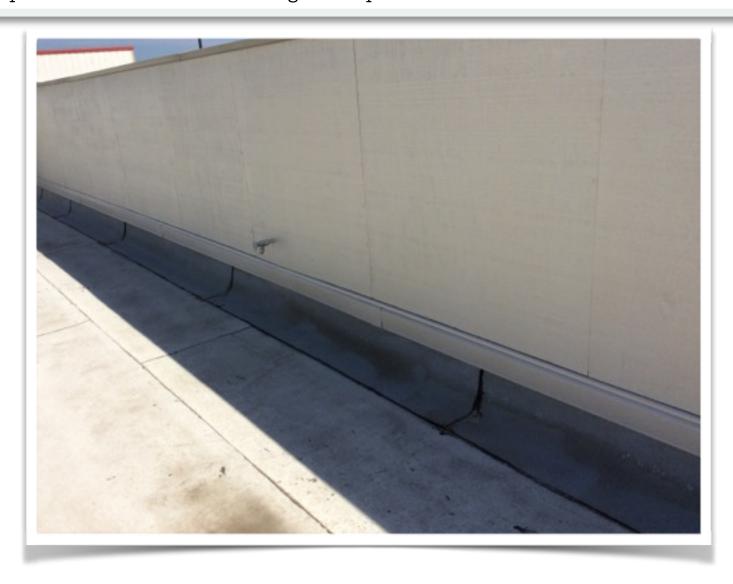




Another overview photo from the roof level.



The photo below shows the walls in good shape.



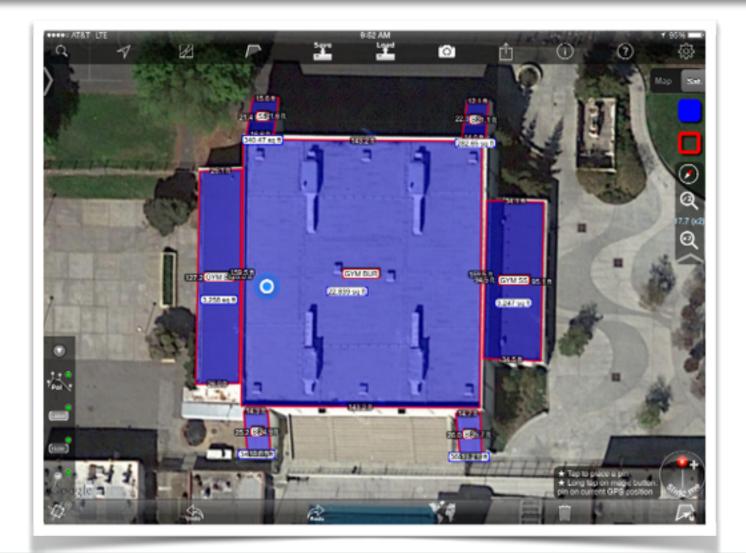
BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 22, 2014							
BUILDING	GYM							
ROOF SQ FT	22,800							



\$342,000.00

DAIL	OVA								S I N F F D I N	
BUILDING	GYM						E	VGIVEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	22,800							_		
ROOF CONSTRU		_,								
ROOF AGE	SS 2004		BUR 2004	_	5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH	✓	3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS	✓	OVER EDGE			
SLOPE	NONE		1:12	⋖	2:12		3:12		SS 6:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED			RATING	6			
		F	RESEAL SEAMS		REPAIR B	LIST	ERS or RIDGING		SS RATING	8
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK	REPA	IR SUSPECTED		RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND		RE	PAIRS NEEDED						RATING	5
	F	ILL P	ONDING AREAS		FIX	DE	CK DEFLECTION			_
		S	SOME PONDING	⋖						
FLASHING		RE	PAIRS NEEDED						RATING	6
		RESE	AL/REPAIR ALL		RES	EAL/	REPAIR SELECT		SS RATING	8
			COAT AC DUCT		RE	SEA	L/RECOAT WALL			
	BASE FLAS		AZE CRACKING							
DRAINAGE	A D D //		PAIRS NEEDED		4 D.D./EA		10E 0\/EDEL0\/\		RATING	4
	ADD/E		NCE CRICKETS CLEAR DRAINS	✓	ADD/EN	NHAN	ADD GUTTER			
	GUTT		EPAIR NEEDED		GUTTE	R CC	ADD GOTTER OATING NEEDED			
PENETRATION	0011		PAIRS NEEDED		OOTIL		ATINO NEEDED		RATING	5
			EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT		70	
MAINTENANCE	k	KEEP	DRAINS CLEAN	\checkmark	KEEP	\				
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RO	OOF OF DEBRIS		HV	AC F	REPAIR NEEDED			
	H	IAZM.	AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SY	STEM	I RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	TREPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	DIATE REPAIRS A	S RE	ECOMMENDED				\$0	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The photo below shows the lower metal standing seam roof - keep the valleys clear.



Keep drains clear to prevent ponding and membrane degradation.







BUILDING	Portables 25-30,	Porta	ble Restrooms 3						E N G I N E E R I N G ENGINEERING SERVICES FOR THE BUILDING ENVELOPE		
ROOF SQ FT	7,300							_			
ROOF CONSTRU	JCTION										
ROOF AGE	UNKNOWN		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD		PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS	\	SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS		
MEM SURFACE	COATING		MS CAP		GRAVEL		SMOOTH		GALVANIZED	\	
FLASHINGS	CAPSHEET										
DRAINAGE	JOSAM		SCUPPERS		GUTTERS		OVER EDGE				
SLOPE	NONE		1:12	✓	2:12		6:12				
ROOF CONDITIO	ON - RATINGS (1-1	0) ar	nd RECOMMENDA	ATIOI	NS					#	
FIELD		RE	PAIRS NEEDED						RATING	8	
			RESEAL SEAMS		RESEAL B	LIST	ERS or RIDGING				
	CLEA	AR R	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED				
	DECK	REPA	AIR SUSPECTED		RESEAL/F	RPLA	ACE FASTENERS				
PITCH/POND		RE	EPAIRS NEEDED						RATING	8	
	F	ILL P	ONDING AREAS		FIX	(DE	CK DEFLECTION				
FLASHING			EPAIRS NEEDED						RATING	6	
		_	EAL/REPAIR ALL				REPAIR SELECT				
	KESE/	AL/KE	ECOAT AC DUCT		KE	SEA	L/RECOAT WALL				
DRAINAGE		RF	EPAIRS NEEDED						RATING	7	
	ADD/E		NCE CRICKETS		ADD/E	1AH	NCE OVERFLOW				
			CLEAR DRAINS		ADD GUTTER						
	GUTT	ER F	REPAIR NEEDED		GUTTE	R CC	DATING NEEDED				
PENETRATION		RE	EPAIRS NEEDED						RATING	6	
		RES	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT				
MAINTENANCE			DRAINS CLEAN		KEEP	WAI	ERWAYS CLEAN				
			UNTIL REROOF OOF OF DEBRIS		Н/	/ A C F	TRIM TREES REPAIR NEEDED				
			AT SUSPECTED				SUTTERS CLEAR				
LEAKS			ENCE OF LEAKS		YES						
ROOF CONDITIO	ON - OVERALL SY	_									
VERY POOR		0.12.			REPLACE OR C	COAT	· IMMEDIATELY - S	SPOT	Γ REPAIRS ONLY		
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - S	SPOT	Γ REPAIRS ONLY		
FAIR					G00	D HC	WEVER PLAN TO	CO	AT IN 3-5 YEARS	✓	
MARGINAL									T IN 5-10 YEARS		
GOOD							REPLACE OR C	COAT	IN 10-15 YEARS		
EXCELLENT					C	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD		

ADDITIONAL NOTES

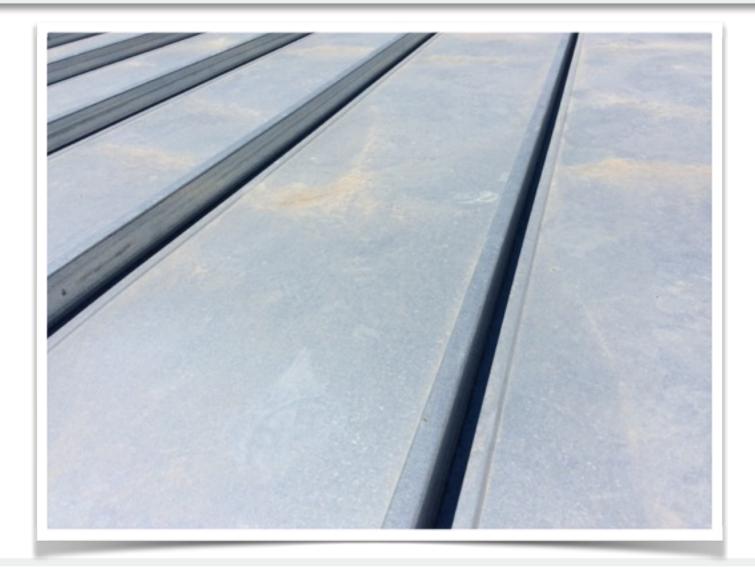
ALTHOUGH THE METAL ROOFS ARE IN GREAT SHAPE THE GALVANIZED COATING HAS A LIFESPAN OF ABOUT 10 YEARS. THE NEED FOR A COATING IS BASED SOLEY ON THE ESTIMATE (GUESS IN THIS CASE) OF THE ROOF AGE.

	BUDGET ESTIMATES
\$0.00	IMMEDIATE REPAIRS AS RECOMMENDED
\$2,500.00	YEARLY PREVENTIVE MAINENANCE
\$73,000.00	ROOF RECOATING
\$0.00	ROOF REPLACEMENT



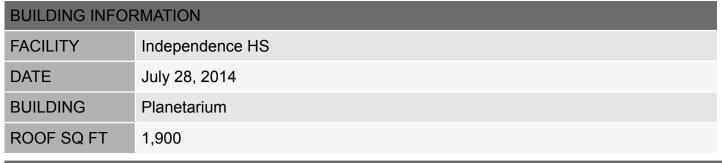


The photo below shows no signs of rust yet.



The photo below shows another overview shot of the roofs.



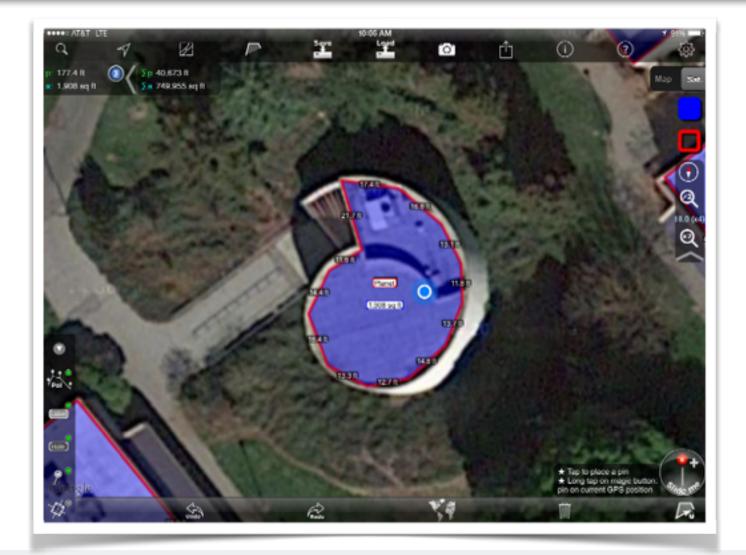




\$28,500.00

DATE	July 28, 2014	July 28, 2014 S K Y L I N										
BUILDING	Planetarium								ENGINEERING SERVICES FOR THE BUILDING ENVELOPE			
ROOF SQ FT	1,900							_		4		
ROOF CONSTRU					- 40 1/5 1 50		40.45.45450		/= V=1=0			
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS			
DECK TYPE	METAL		PLYWOOD		PLANK		CONCRETE		LW CONCRETE			
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO			
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED			
MEMBRANE	METAL SS		SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS			
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH					
FLASHINGS	CAPSHEET	_					0.455 55.05					
DRAINAGE	JOSAM		SCUPPERS		SS GUTTERS		OVER EDGE		22.2.42			
SLOPE	NONE		1:12	•	2:12		3:12		SS 6:12			
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	1OITA	NS					#		
FIELD	IELD REPAIRS NEEDED								RATING	2		
		l	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	8		
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED					
	DECKI	REPA	IR SUSPECTED	✓	١	ИЕМ	BRANE BRITTLE					
PITCH/POND			PAIRS NEEDED						RATING	5		
	F	ILL P	ONDING AREAS		FIX	(DE	CK DEFLECTION					
FLASHING		DE	DAIDS NEEDED						RATING	2		
FLASHING	REPAIRS NEEDED				RES	ΕΔΙ /	REPAIR SELECT		SS RATING	8		
	RESEAL/REPAIR ALL RESEAL/RECOAT AC DUCT						L/RECOAT WALL	7	OO IVAIIIVO			
			AZE CRACKING	~			YWOOD REPAIR	V				
DRAINAGE		RE	PAIRS NEEDED						RATING	5		
	ADD/E	ENHA	NCE CRICKETS		ADD/EN	1AH	NCE OVERFLOW					
			CLEAR DRAINS				ADD GUTTER					
	GUTT	ER R	EPAIR NEEDED		GUTTE	R CC	DATING NEEDED					
PENETRATION			PAIRS NEEDED						RATING	2		
		RESE	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT					
			RAISE CURBS									
MAINTENANCE	k	(FFP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN					
			UNTIL REROOF	~			TRIM TREES					
	CLEA	AR RO	OOF OF DEBRIS		HV	AC F	REPAIR NEEDED					
	H	IAZM	AT SUSPECTED									
LEAKS	E	EVIDE	NCE OF LEAKS		YES	\	NO					
ROOF CONDITIO	ON - OVERALL SY	STEM	1 RATING									
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPOT	FREPAIRS ONLY	✓		
POOR					REPLACE OR (COAT	Γ IN 1-2 YEARS - S	SPOT	REPAIRS ONLY			
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS			
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS			
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS			
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD			
BUDGET ESTIMA												
IMMEDIATE REPAIRS										0.00		
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00		

ROOF RECOATING





The photo below shows that the walls and cap flashing are at the end of their life.



The photo below shows that all flashing needs to be redesigned and replaced.



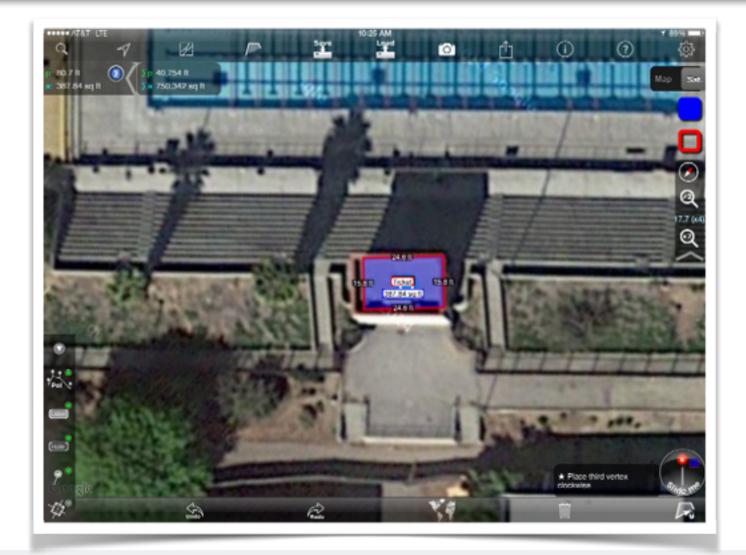




\$7,500.00

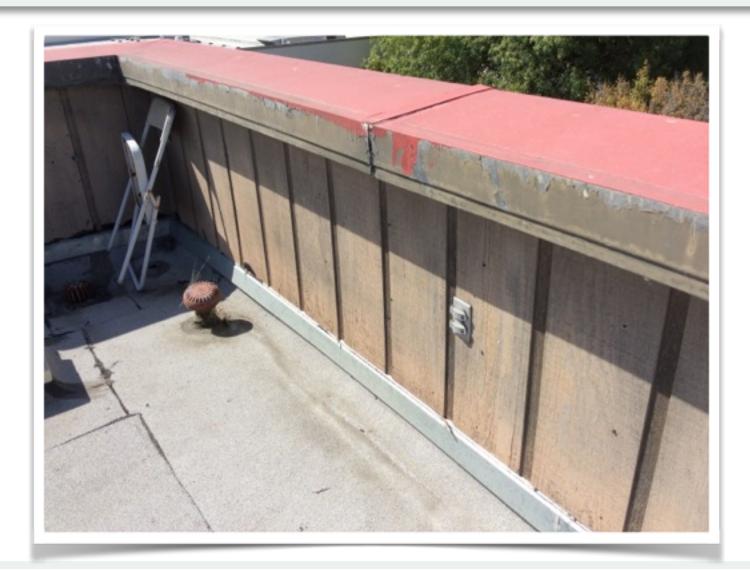
BUILDING	Pool Ticket						Ē	N (G N E E R N IG SERVICES FOR THE BUILDING ENVE	G	
ROOF SQ FT	390							_		-	
ROOF CONSTRU	JCTION										
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS	✓	15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE	⋖	ISO		FIBER		PERLITE		STYRO		
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS		
MEM SURFACE	COATING		MS CAP	\	GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	⋖									
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS		OVER EDGE				
SLOPE	NONE		1:12	✓	2:12		3:12		SS 6:12		
ROOF CONDITIO	ON - RATINGS (1-1	0) and	RECOMMENDA	OITA	NS					#	
FIELD		REI	PAIRS NEEDED						RATING	5	
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING		
	CLEA	AR RC	OF OF DEBRIS		DE	CK F	REPAIR NEEDED				
	DECK I	REPAI	R SUSPECTED		1	ИЕМІ	BRANE BRITTLE				
PITCH/POND		REI	PAIRS NEEDED						RATING	6	
	F	ILL PC	ONDING AREAS		FIX	(DEC	CK DEFLECTION				
FLASHING		REI	PAIRS NEEDED	\checkmark					RATING	3	
		RESE	AL/REPAIR ALL	✓	RES	EAL/I	REPAIR SELECT		SS RATING		
			COAT AC DUCT		RE	SEAL	_/RECOAT WALL	✓			
	BASE FLAS		AZE CRACKING		SOME WAL	L PL	YWOOD REPAIR			_	
DRAINAGE	A D D //		PAIRS NEEDED		4 D.D./FA		10E 0\/EBE! 0\M		RATING	5	
	ADD/E		NCE CRICKETS CLEAR DRAINS		ADD/EI	NHAN	ADD GUTTER				
	GUTT		EPAIR NEEDED		GUTTE	R CC	ADD GOTTER OATING NEEDED				
PENETRATION	3011		PAIRS NEEDED	-	GOTTE	IX CC	ATING NEEDED		RATING	4	
			AL/REPAIR ALL	V	RES	EAL/I	REPAIR SELECT		1011110		
			RAISE CURBS								
MAINTENANCE	K	(EEP I	DRAINS CLEAN	✓	KEEP	WATI	ERWAYS CLEAN				
	SPOT RE	PAIR I	JNTIL REROOF				TRIM TREES				
	CLEA	AR RC	OF OF DEBRIS		HV	/AC F	REPAIR NEEDED				
			AT SUSPECTED								
LEAKS	E	VIDE	NCE OF LEAKS		YES		NO	✓			
	ON - OVERALL SYS	STEM	RATING								
VERY POOR									TREPAIRS ONLY		
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S				
FAIR									AT IN 3-5 YEARS		
MARGINAL									T IN 5-10 YEARS		
GOOD									IN 10-15 YEARS		
EXCELLENT					C	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD		
BUDGET ESTIMA		40.45	LATE DESCRIPTION	0.5					40.70		
	in in		IATE REPAIRS A						\$2,500		
		Y	EARLY PREVEN	TIVE	MAINENANCE			\$1,500.00			

ROOF RECOATING

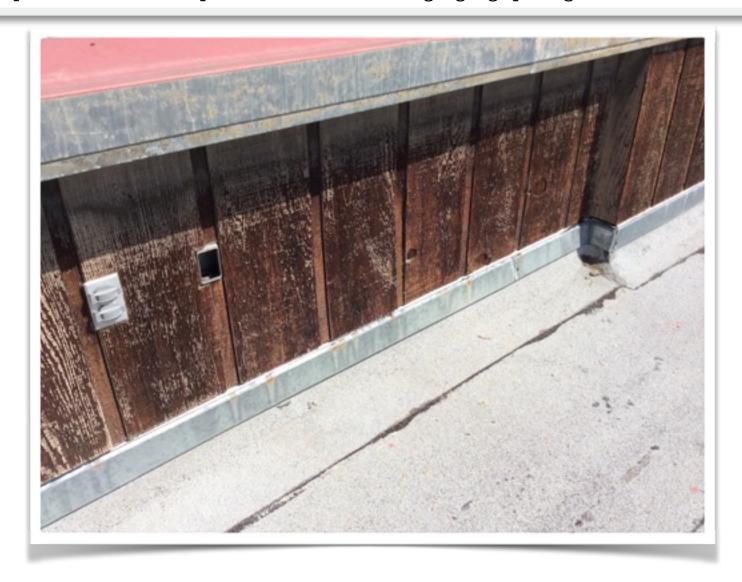


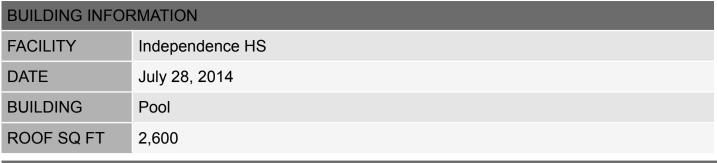


The photo below shows that some sealant is needed on all flashings.



The photo below shows a plate needed over the single-gang opening.





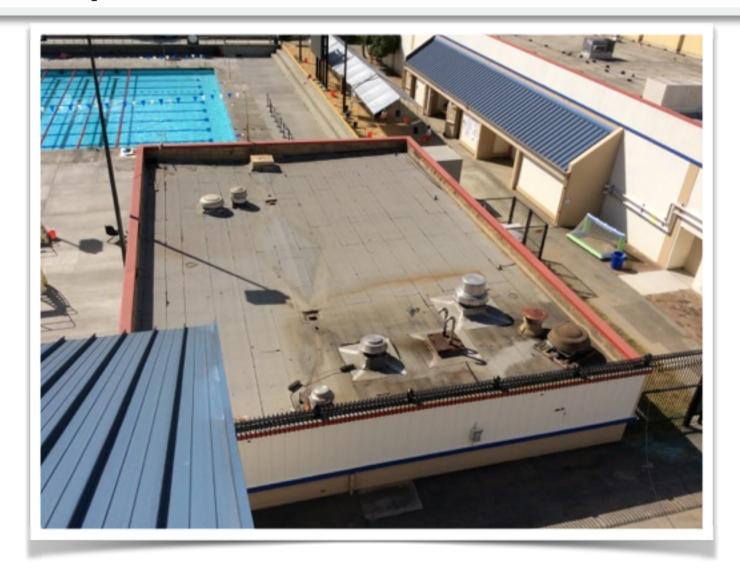


\$39,000.00

BUILDING	Pool							N	G I N E E R I N	6
ROOF SQ FT	2,600						E	VGIVEERIN	IS SERVICES FOR THE BUILDING ENVE	LOPE
			_		_		_	_		_
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE					PLANK		CONCRETE		LW CONCRETE	
	METAL		PLYWOOD				PERLITE			
INSULATION	NONE		ISO		FIBER				STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM		SCUPPERS		SS GUTTERS		OVER EDGE			
SLOPE	NONE		1:12	✓	2:12		3:12		SS 6:12	
ROOF CONDITIC	N - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED					RATING	4	
		I	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPA	IR SUSPECTED		ľ	ИΕМ	BRANE BRITTLE	\		
PITCH/POND		RE	PAIRS NEEDED						RATING	3
	F	ILL P	ONDING AREAS		FIX	DE	CK DEFLECTION			
	PONDING									
FLASHING		RE	PAIRS NEEDED					-	RATING	3
			EAL/REPAIR ALL				REPAIR SELECT	✓	SS RATING	
			COAT AC DUCT				L/RECOAT WALL			
	BASE FLAS		AZE CRACKING	✓	SOME WAL	L PL	YWOOD REPAIR		DATING	-
DRAINAGE	A D.D./E		PAIRS NEEDED NCE CRICKETS	\	4 DD/EN	лыла	ICE OVERELOW	~	RATING	5
	ADD/E		CLEAR DRAINS		ADD/ENHANCE OVERFLOW ADD GUTTER					
	GUTT		EPAIR NEEDED		GUTTE	R CC	DATING NEEDED			
PENETRATION	3311		PAIRS NEEDED		30112		WING HEEDED		RATING	4
			EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
			RAISE CURBS	✓						
MAINTENANCE	K	KEEP	DRAINS CLEAN	✓	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF	\			TRIM TREES			
	CLEA	AR RO	OOF OF DEBRIS		HV	AC F	REPAIR NEEDED			
	F	IAZM.	AT SUSPECTED	✓						
LEAKS	E	EVIDE	ENCE OF LEAKS		YES		NO			
ROOF CONDITIO	ON - OVERALL SYS	STEM	1 RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPO	T REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	T REPAIRS ONLY	✓
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	AT IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	име	DIATE REPAIRS A	S RE	ECOMMENDED				\$2,000	0.00
		Υ	'EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 31, 2014							
BUILDING	Press Box							
ROOF SQ FT	235							



\$2,350.00

\$0.00

DATE	July 31, 2014					YLIN	Ę			
BUILDING	Press Box						i i	NGIVEERIN	G I M E E R I M IG SERVICES FOR THE BUILDING ENVE	LOPE
ROOF SQ FT	235							_		
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS	✓	15+ YEARS	
DECK TYPE	METAL		PLYWOOD		PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL C ✓ SINGLE PLY				BUR		MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP		GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM		SCUPPERS		SS GUTTERS		OVER EDGE	~		
SLOPE	NONE		1:12	~	2:12		3:12		SS 6:12	
POOE CONDITIO	DN - RATINGS (1-1	(O) an					_			#
	JN - KATINGS (T-T				NO				RATING	#
FIELD			PAIRS NEEDED							1
			RESEAL SEAMS				ERS or RIDGING		METAL RATING	4
			OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK	REPA	IR SUSPECTED		ı	MEM	BRANE BRITTLE			
PITCH/POND		RE	PAIRS NEEDED						RATING	
	F	ILL P	ONDING AREAS		FIX	(DEC	CK DEFLECTION			
FLASHING	REPAIRS NEEDED								RATING	
			EAL/REPAIR ALL		RESEAL/REPAIR SELECT				METAL RATING	-
			COAT AC DUCT			RESE	EAL CAP JOINTS	_		
DRAINAGE	INSTALL W		BASE FLASHING EPAIRS NEEDED	✓			COAT WALL	✓	RATING	
DRAINAGE	ΔDD/F		NCE CRICKETS		ADD/ENHANCE OVERFLOW				RATING	
	NOD/L		CLEAR DRAINS		ADD/ENHANCE OVERFLOW ADD GUTTER					
	GUTT		EPAIR NEEDED		GUTTER COATING NEEDED					
PENETRATION			PAIRS NEEDED						RATING	
			EAL/REPAIR ALL		RESEAL/REPAIR SELECT					
			RAISE CURBS							
MAINTENANCE	k	KEEP	DRAINS CLEAN		KEEP	WATI	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RO	OOF OF DEBRIS		H\	/AC F	REPAIR NEEDED			
	H	HAZM.	AT SUSPECTED							
LEAKS	E	EVIDE	ENCE OF LEAKS		YES		NO	✓		
ROOF CONDITIO	ON - OVERALL SY	STEM	1 RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY -	SPO	TREPAIRS ONLY	
POOR					REPLACE OR	COAT	IN 1-2 YEARS -	SPO	Γ REPAIRS ONLY	✓
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD							REPLACE OR (COAT	IN 10-15 YEARS	
EXCELLENT					C	NLY	IF ROOF IS LESS	S THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	II.	MME	DIATE REPAIRS A	S RE	COMMENDED				\$0	0.00
		Y	'EARLY PREVEN	TIVE	MAINENANCE					0.00

ROOF RECOATING





The fasteners need to be replaced and the roof coated.



BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 23, 2014						
BUILDING	Q Locker Room Boys, R Locker Room Girls						
ROOF SQ FT	10,800						



\$162,000.00

DATE	July 23, 2014			ONTLINE							
BUILDING	Q Locker Room B	Boys,	R Locker Room G	iris				NGINEERIN	IG SERVICES FOR THE BUILDING ENVE	LOPE	
ROOF SQ FT	10,800							_			
ROOF CONSTRU			DUD 0000		F 40 VEADO		40.45.VEADO		45. VEADO		
ROOF AGE	SS 2008	Y	BUR 2008	_	5-10 YEARS		10-15 YEARS		15+ YEARS		
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE		
INSULATION	NONE		ISO		FIBER		PERLITE	✓	STYRO		
INSUL THICK	1 INCH		2 INCH	✓	3 INCH		4 INCH		TAPERED		
MEMBRANE	METAL SS		SINGLE PLY		BUR		MOD BIT		TWO SYSTEMS		
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH				
FLASHINGS	CAPSHEET	_									
DRAINAGE	JOSAM		SCUPPERS		SS GUTTERS	✓	OVER EDGE				
SLOPE	NONE		1:12	✓	2:12		3:12		SS 6:12	✓	
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#	
FIELD		RE	PAIRS NEEDED						RATING	6	
		1	RESEAL SEAMS		REPAIR B	LIST	ERS or RIDGING		SS RATING	8	
	CLEA	AR RO	OOF OF DEBRIS		DE	CK I	REPAIR NEEDED				
	DECK I	REPA	IR SUSPECTED		RESEAL/F	RPLA	ACE FASTENERS				
PITCH/POND		RE	PAIRS NEEDED						RATING	5	
	FILL PONDING AREAS				FIX	(DE	CK DEFLECTION				
		5	SOME PONDING								
FLASHING			PAIRS NEEDED						RATING	6	
			EAL/REPAIR ALL		RESEAL/REPAIR SELECT RESEAL/RECOAT WALL				SS RATING	8	
			COAT AC DUCT AZE CRACKING		KE	SEA	L/RECOAT WALL				
DRAINAGE	BASE FLAS		PAIRS NEEDED						RATING	4	
DIV IIIV IOL	ADD/E		NCE CRICKETS	V	ADD/EN	1AHV	NCE OVERFLOW		1011110		
			CLEAR DRAINS				ADD GUTTER				
	GUTT	ER R	EPAIR NEEDED		GUTTE	R C	DATING NEEDED				
PENETRATION		RE	PAIRS NEEDED						RATING	5	
		RES	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT				
MAINTENANCE			DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN				
			UNTIL REROOF		1.0	' ^ ~ ~ .	TRIM TREES				
			OOF OF DEBRIS		HV	AC I	REPAIR NEEDED				
LEAKS			AT SUSPECTED ENCE OF LEAKS		YES		NO				
					TLO		NO			_	
VERY POOR	ON - OVERALL SY	SIEN	RATING			- A T		SDO:			
POOR									FREPAIRS ONLY FREPAIRS ONLY		
					REPLACE OR (JUA					
FAIR MARGINAL									AT IN 3-5 YEARS T IN 5-10 YEARS		
GOOD						99			IN 10-15 YEARS		
EXCELLENT					0		IF ROOF IS LESS				
	ATEC						1.001 10 LL00	1/5			
BUDGET ESTIMA		ANAET	DIATE REPAIRS A	SPE	COMMENDED				\$(0.00	
	111		/EARLY PREVEN						\$1,500		
		Ì	LANLI FREVEN		MAINENANCE			ψ1,000.00 Φ0.00			

ROOF RECOATING





The photo below shows the wall flashing sealant failing.



The photo below shows some ponding that may deteriorate the membrane.



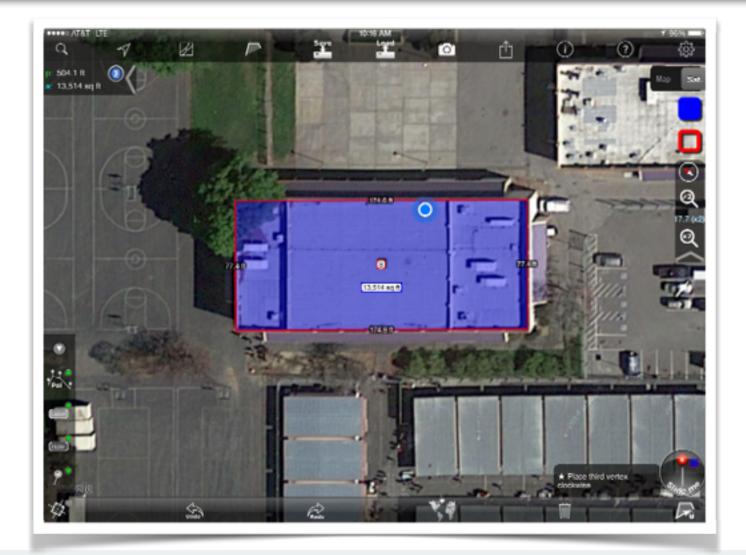
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 21, 2014						
BUILDING	S Gymnasium Small						
ROOF SQ FT	13,500						



\$202,500.00

DATE	July 21, 2014									5
BUILDING	S Gymnasium Sn	nall						NGIVEERIN	G I N E E R I N NG SERVICES FOR THE BUILDING ENVEI	LOPE
ROOF SQ FT	13,500							_		
ROOF CONSTRU	JCTION									
ROOF AGE	2008	✓	0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	
DECK TYPE	METAL		PLYWOOD	\	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE		ISO		FIBER	\	PERLITE		STYRO	
INSUL THICK	1 INCH	✓	2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SINGLE PLY				BUR	~	MOD BIT		FOAM	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM	~	SCUPPERS		GUTTERS		OVER EDGE			
SLOPE	NONE		1:12	~	2:12		3:12			
ROOF CONDITIO	ON - RATINGS (1-1	(0) an	d RECOMMENDA	1OIT	NS					#
FIELD)		EPAIRS NEEDED		10	-		-	RATING	7
TILLD					DECEMB	LICT			1011110	
			RESEAL SEAMS				ERS or RIDGING			
			OOF OF DEBRIS				REPAIR NEEDED			
	DECK		AIR SUSPECTED		RESEAL/F	RPLA	CE FASTENERS			
PITCH/POND			PAIRS NEEDED						RATING	7
	F	ILL P	ONDING AREAS		FIX	(DE(CK DEFLECTION			
EL ACLUNIO									DATING	_
FLASHING			EPAIRS NEEDED EAL/REPAIR ALL		DECEAL /	DEDA	AIR WALL FLASH	~	RATING	5
			ECOAT AC DUCT				L/RECOAT WALL	•		
	RESEA	1 L/11L	COALAC DOCT		KE	.SEAI	L/RECOAT WALL			
DRAINAGE		RE	EPAIRS NEEDED						RATING	7
510 m 0 (02	ADD/E		NCE CRICKETS		ADD/EI	NHAN	NCE OVERFLOW		7011110	
			CLEAR DRAINS		ADD GUTTER					
	GUTT	ER F	REPAIR NEEDED		GUTTER COATING NEEDED					
PENETRATION		RE	PAIRS NEEDED						RATING	7
		RESI	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
MAINTENANCE	k	KEEP	DRAINS CLEAN	\checkmark	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES	✓		
	CLEA	AR R	OOF OF DEBRIS		H\	/AC F	REPAIR NEEDED			
	ŀ	HAZM	AT SUSPECTED							
LEAKS	E	EVIDE	ENCE OF LEAKS		YES		NO			
ROOF CONDITIO	ON - OVERALL SY	STEN	// RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY -	SPO	T REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS -	SPO	T REPAIRS ONLY	
FAIR							REPLACE O	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	✓
GOOD							REPLACE OR (COAT	IN 10-15 YEARS	
EXCELLENT					C	NLY	IF ROOF IS LESS	STHA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	II	MME	DIATE REPAIRS A	S RE	ECOMMENDED				\$4,500	0.00
		`	YEARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





Trimming the trees is advisable.



The photo below shows the wall flashing sealant failing.



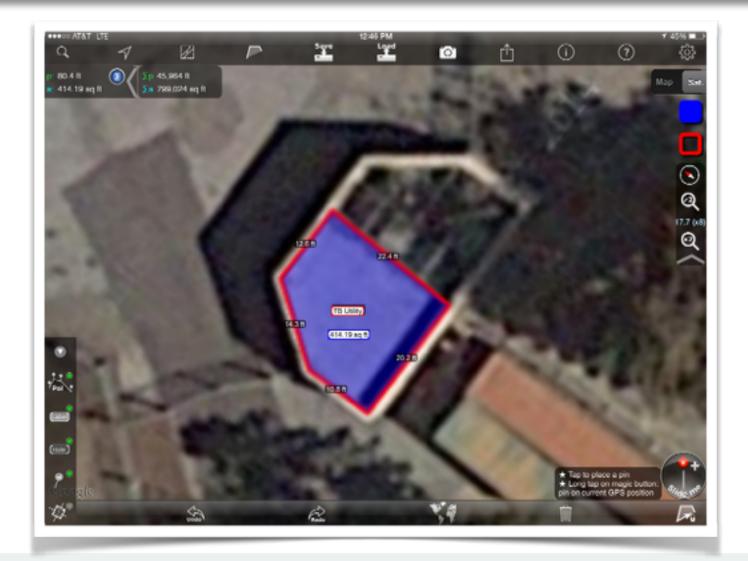
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 31, 2014						
BUILDING	Ticket Booth						
ROOF SQ FT	415						



\$6,225.00

BUILDING	Ticket Booth						Ē	NGIVEERIN	G N E E R N IG SERVICES FOR THE BUILDING ENVE	G
ROOF SQ FT	415							_		4
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS	⋖	15+ YEARS	
DECK TYPE	METAL		PLYWOOD	\	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	\checkmark	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	\	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	\	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	✓								
DRAINAGE	JOSAM		SCUPPERS		SS GUTTERS		OVER EDGE	✓		
SLOPE	NONE		1:12	4	2:12		3:12		SS 6:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) and	d RECOMMENDA	1017	NS					#
FIELD		RE	PAIRS NEEDED						RATING	5
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK I	REPA	IR SUSPECTED		ľ	ИЕМІ	BRANE BRITTLE			
PITCH/POND		RE	PAIRS NEEDED						RATING	6
	F	ILL P	ONDING AREAS		FIX	(DE(CK DEFLECTION			
FLASHING		RE	PAIRS NEEDED	✓					RATING	2
		RESE	AL/REPAIR ALL		RES	EAL/I	REPAIR SELECT		SS RATING	
	RESEA	AL/RE	COAT AC DUCT			RESE	EAL CAP JOINTS	⋖		
	INSTALL W	ALL B	ASE FLASHING	✓			COAT WALL	✓		_
DRAINAGE			PAIRS NEEDED						RATING	5
	ADD/E		NCE CRICKETS		ADD/EN	NHAN	ICE OVERFLOW			
	CUTT		CLEAR DRAINS EPAIR NEEDED		ADD GUTTER GUTTER COATING NEEDED					
PENETRATION	GOTT		PAIRS NEEDED		GUITE	K CC	ATING NEEDED		RATING	
TENETIVATION			AL/REPAIR ALL		RES	FAL/I	REPAIR SELECT		TATINO	
			RAISE CURBS							
MAINTENANCE	k	KEEP	DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RC	OF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
	H	IAZM/	AT SUSPECTED							
LEAKS	E	VIDE	NCE OF LEAKS		YES		NO			
ROOF CONDITIO	ON - OVERALL SYS	STEM	RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPO	Γ REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	
EXCELLENT					C	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMEC	DIATE REPAIRS A	S RE	ECOMMENDED				\$1,500	
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING





The wall needs to be coated and a proper flashing needs to be installed..



The photo below shows that metal cap flashing work is necessary.



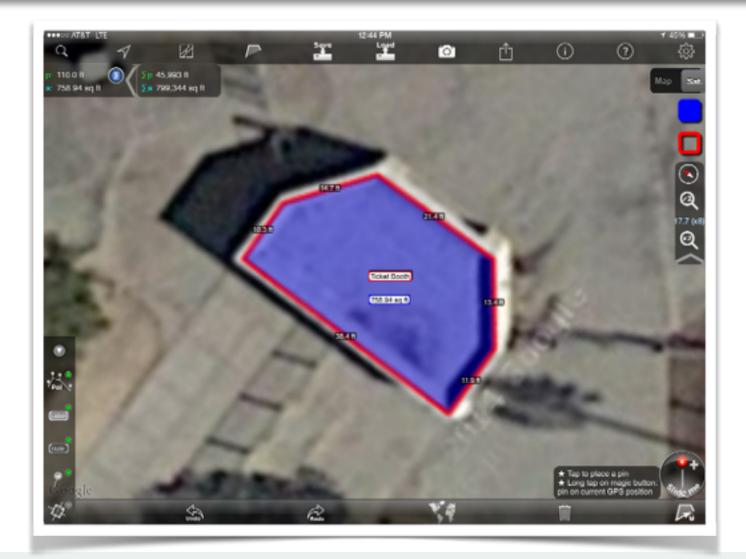
BUILDING INFORMATION							
FACILITY	Independence HS						
DATE	July 31, 2014						
BUILDING	Ticket Booth						
ROOF SQ FT	750						



\$11,250.00

BUILDING	Ticket Booth						Ē	N (G I N E E R I N IG SERVICES FOR THE BUILDING ENVE	G
ROOF SQ FT	750							_		
ROOF CONSTRU	JCTION									
ROOF AGE	SS 2007		0-5 YEARS		5-10 YEARS		10-15 YEARS	✓	15+ YEARS	
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	✓	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL SS		SINGLE PLY		BUR	✓	MOD BIT		TWO SYSTEMS	
MEM SURFACE	COATING		MS CAP	✓	GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET	⋖								
DRAINAGE	JOSAM	✓	SCUPPERS		SS GUTTERS		OVER EDGE			
SLOPE	NONE		1:12	\	2:12		3:12		SS 6:12	
ROOF CONDITIO	ON - RATINGS (1-1	0) an	d RECOMMENDA	OITA	NS					#
FIELD		RE	PAIRS NEEDED						RATING	5
		F	RESEAL SEAMS		В	LIST	ERS or RIDGING		SS RATING	
	CLEA	AR RO	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK	REPA	IR SUSPECTED		ı	ИΕМ	BRANE BRITTLE			
PITCH/POND		RE	PAIRS NEEDED						RATING	6
	F	ILL P	ONDING AREAS		FIX	(DE(CK DEFLECTION			
FLASHING		RE	PAIRS NEEDED	✓					RATING	4
		RESE	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT		SS RATING	
	RESEA	AL/RE	COAT AC DUCT			RESE	EAL CAP JOINTS	✓		
	BASE FLAS	H CR	AZE CRACKING		SOME WAL	L PL	YWOOD REPAIR			
DRAINAGE			PAIRS NEEDED						RATING	5
	ADD/E		NCE CRICKETS		ADD/ENHANCE OVERFLOW					
	OUTT		CLEAR DRAINS		OUTTE	D 00	ADD GUTTER			
DENETRATION	GUTT		EPAIR NEEDED		GUITE	RCC	DATING NEEDED		DATING	
PENETRATION			PAIRS NEEDED EAL/REPAIR ALL		DEQ	= ^ 1 /	REPAIR SELECT		RATING	-
		KESE	RAISE CURBS		RES		REPAIR SELECT			
			TO TIOL COTODO							
MAINTENANCE	ŀ	KEEP	DRAINS CLEAN	<u></u>	KEEP	WAT	ERWAYS CLEAN			
	SPOT RE	PAIR	UNTIL REROOF				TRIM TREES			
	CLEA	AR RO	OOF OF DEBRIS		HV	/AC F	REPAIR NEEDED			
	H	HAZM.	AT SUSPECTED							
LEAKS	E	EVIDE	NCE OF LEAKS		YES		NO	\		
ROOF CONDITIO	ON - OVERALL SY	STEM	I RATING							
VERY POOR					REPLACE OR C	COAT	IMMEDIATELY - S	SPO	T REPAIRS ONLY	
POOR					REPLACE OR (COAT	IN 1-2 YEARS - S	SPO	Γ REPAIRS ONLY	
FAIR							REPLACE OF	R CO	AT IN 3-5 YEARS	
MARGINAL							REPLACE OR	COA	T IN 5-10 YEARS	
GOOD						SS	- REPLACE OR C	COAT	IN 10-15 YEARS	✓
EXCELLENT					C	NLY	IF ROOF IS LESS	THA	AN 5 YEARS OLD	
BUDGET ESTIMA	ATES									
	IN	MMED	DIATE REPAIRS A	S RE	ECOMMENDED				\$1,500	0.00
		Y	EARLY PREVEN	TIVE	MAINENANCE				\$1,500	0.00

ROOF RECOATING







The photo below shows that some metal cap flashing work is necessary.



BUILDING INFORMATION								
FACILITY	Independence HS							
DATE	July 31, 2014							
BUILDING	U-13							
ROOF SQ FT	530							



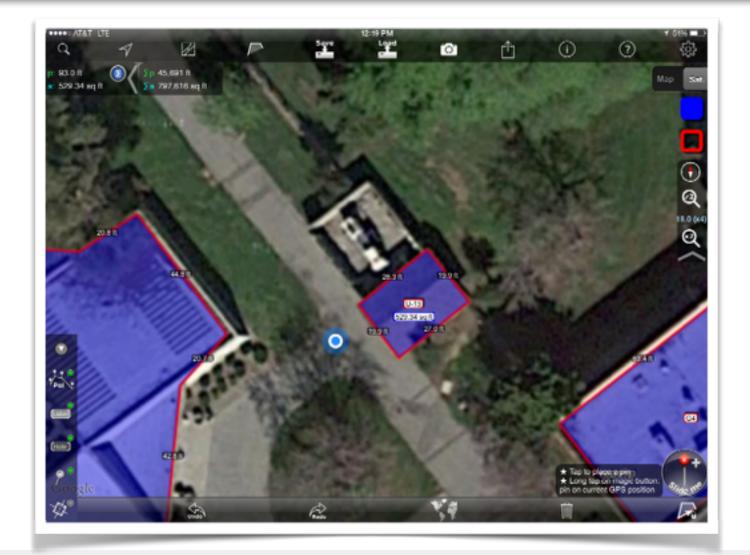
\$7,950.00

BUILDING	U-13						E	N (G I N E E R I N	G
ROOF SQ FT	530						E	VGIVEERIN	NG SERVICES FOR THE BUILDING ENVE	ELOPE
ROOF CONSTRU	JCTION						_	i		
ROOF AGE	UNKNOWN		0-5 YEARS		5-10 YEARS		10-15 YEARS		15+ YEARS	✓
DECK TYPE	METAL		PLYWOOD	✓	PLANK		CONCRETE		LW CONCRETE	
INSULATION	NONE	~	ISO		FIBER		PERLITE		STYRO	
INSUL THICK	1 INCH		2 INCH		3 INCH		4 INCH		TAPERED	
MEMBRANE	METAL		SINGLE PLY		BUR		MOD BIT		SHINGLE	✓
MEM SURFACE	COATING		MS CAP		GRAVEL		SMOOTH			
FLASHINGS	CAPSHEET									
DRAINAGE	JOSAM		SCUPPERS		GUTTERS		OVER EDGE	✓		
SLOPE	NONE		1:12		2:12		3:12	✓		
ROOF CONDITIO	ON - RATINGS (1-1	0) ar	d RECOMMENDA	OITA	NS					#
FIELD		RE	EPAIRS NEEDED						RATING	5
	REPAIR/REPLAC	CE R	IDGE SHINGLES		RESEAL B	LIST	ERS or RIDGING			
	CLEA	AR R	OOF OF DEBRIS		DE	CK F	REPAIR NEEDED			
	DECK	REPA	AIR SUSPECTED		CLO	DSE	TO END OF LIFE	~		
PITCH/POND		RE	EPAIRS NEEDED						RATING	8
	F	ILL P	ONDING AREAS		FIX	(DE	CK DEFLECTION			
FLASHING	REPAIRS NEEDED								RATING	-
			EAL/REPAIR ALL				REPAIR SELECT			
	RESE	AL/RE	ECOAT AC DUCT		RESEAL/RECOAT WALL					
DRAINAGE		DE	EPAIRS NEEDED						RATING	8
DRAINAGE	ADD/F		NCE CRICKETS		ADD/FN	ИДНИ	NCE OVERELOW		RATING	0
	, ABB/L	_1 (1 1)	CLEAR DRAINS		ADD/ENHANCE OVERFLOW ADD GUTTER					
	GUTT	ER F	REPAIR NEEDED		GUTTER COATING NEEDED					
PENETRATION		RE	PAIRS NEEDED						RATING	-
		RES	EAL/REPAIR ALL		RES	EAL/	REPAIR SELECT			
MAINTENANCE			DRAINS CLEAN		KEEP	WAT	ERWAYS CLEAN			
			UNTIL REROOF		1.0	' A O F	TRIM TREES			
			OOF OF DEBRIS AT SUSPECTED				REPAIR NEEDED EPLACE FASCIA			
LEAKS			ENCE OF LEAKS		YES		NO			
	ON - OVERALL SY				120		140			-
VERY POOR	JN - OVERALL ST	SIEN	I RATING	-	REPLACE OR C	:OAT	IMMEDIATELY - 9	SPOT	T REPAIRS ONLY	
POOR							Γ IN 1-2 YEARS - 9			
FAIR					THE LANGE ON		_		AT IN 3-5 YEARS	
MARGINAL									T IN 5-10 YEARS	
GOOD									IN 10-15 YEARS	
EXCELLENT					0	NLY	IF ROOF IS LESS			
BUDGET ESTIMA	ATES									
		имеi	DIATE REPAIRS A	S RE	ECOMMENDED				\$(0.00
		\	YEARLY PREVEN	TIVE	MAINENANCE					0.00

ROOF RECOATING

ROOF REPLACEMENT - SHINGLES

An street view of the building.



The photo below shows the ridge shingles missing.



The photo below shows damage to the fascia.

