



BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	A, B, C, D Girl and Boy Bathrooms (eight roofs)
ROOF SQ FT	1,900

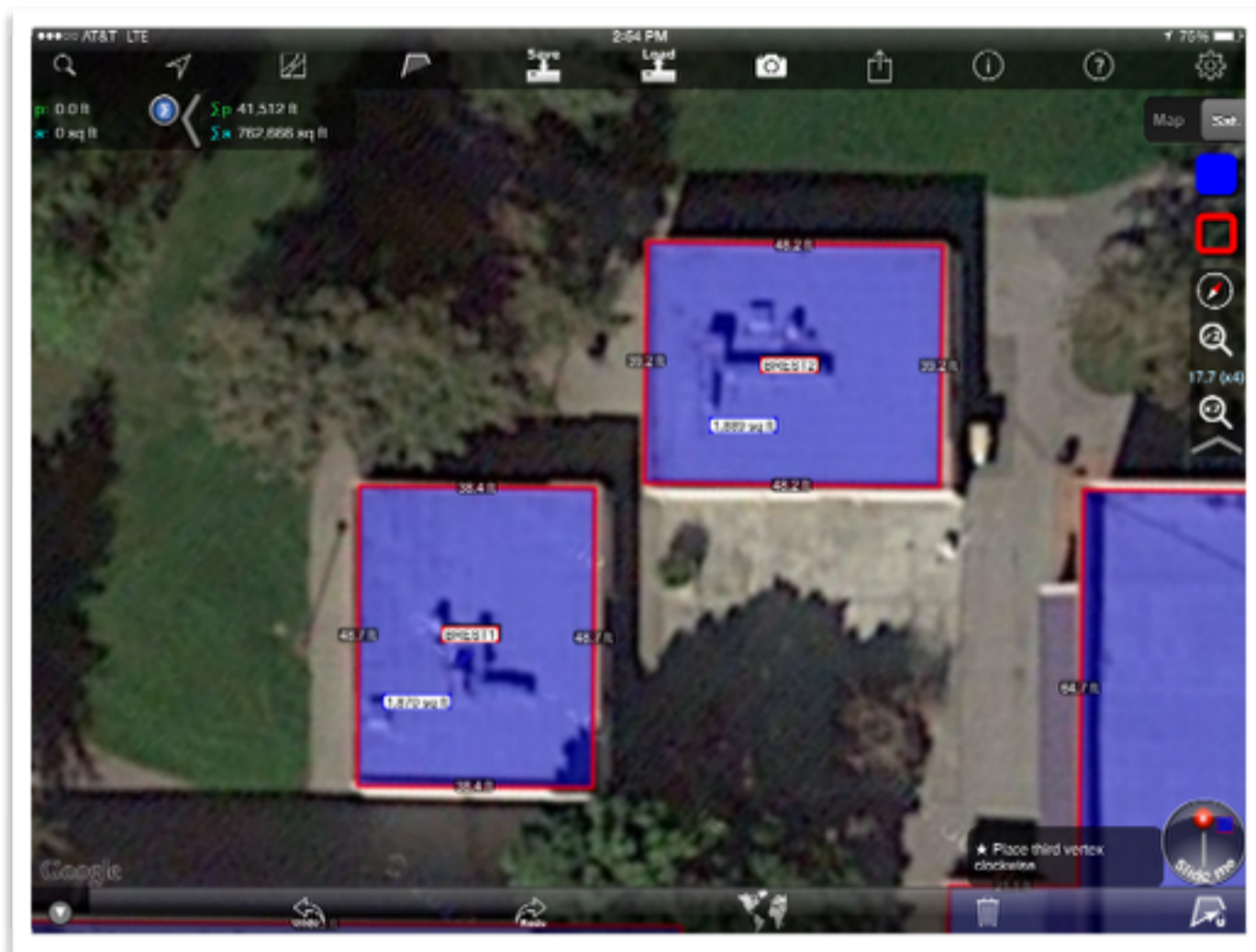
ROOF CONSTRUCTION										
ROOF AGE	2003	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS							#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input checked="" type="checkbox"/>			<input type="checkbox"/>		
		<input type="checkbox"/>			<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>		
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input checked="" type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>		
		<input type="checkbox"/>			<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>		INCREASE REGULAR MAINTENANCE	<input checked="" type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$28,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows some craze cracking of the base flashing.



Most of the bathrooms have ponding in the center surrounding the single drain.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	A1
ROOF SQ FT	16,000

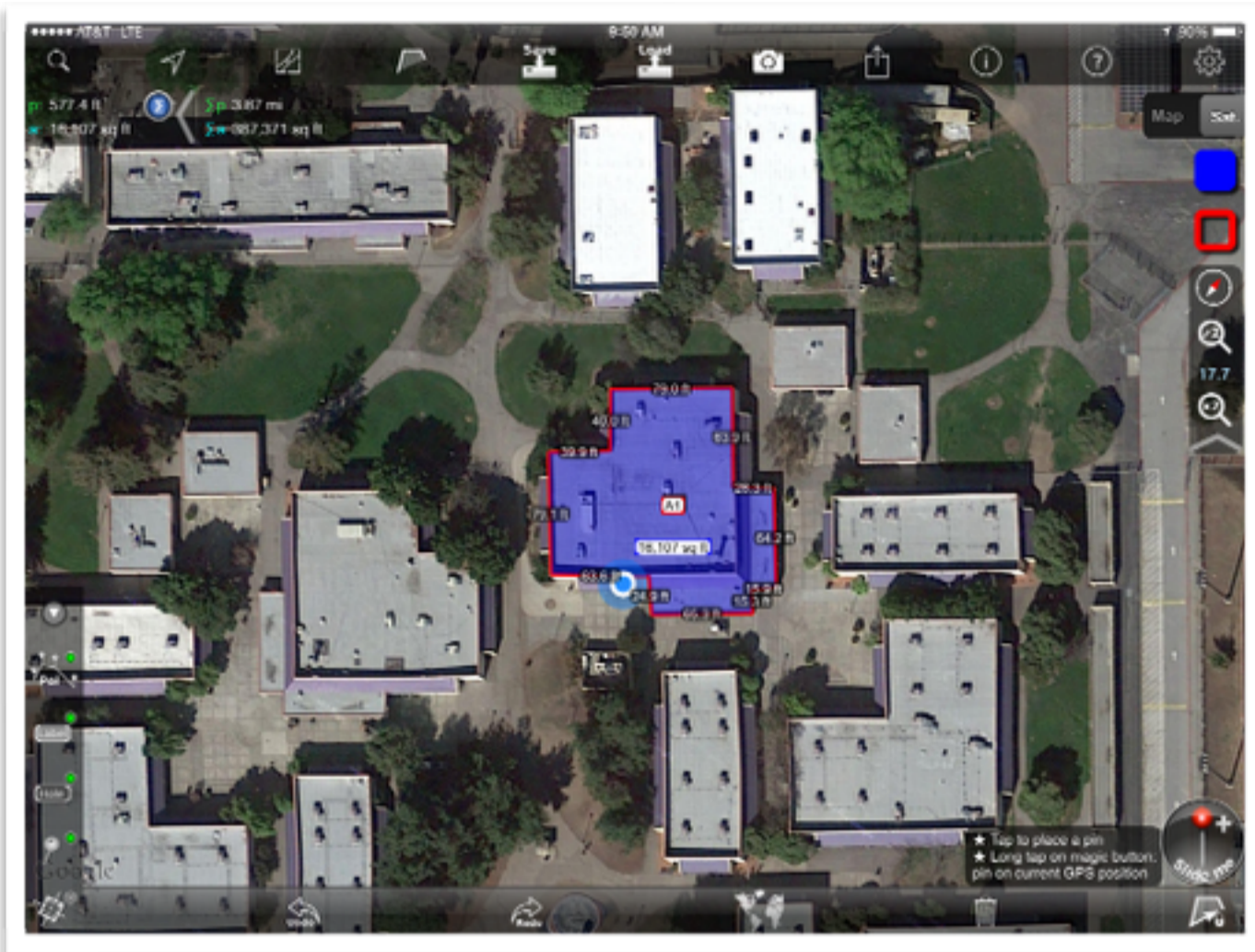
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS							#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>				RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input checked="" type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>				RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>				RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>				RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$10,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$240,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing to be recoated.



The photo below shows penetration sealant failing.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	A2
ROOF SQ FT	5,600

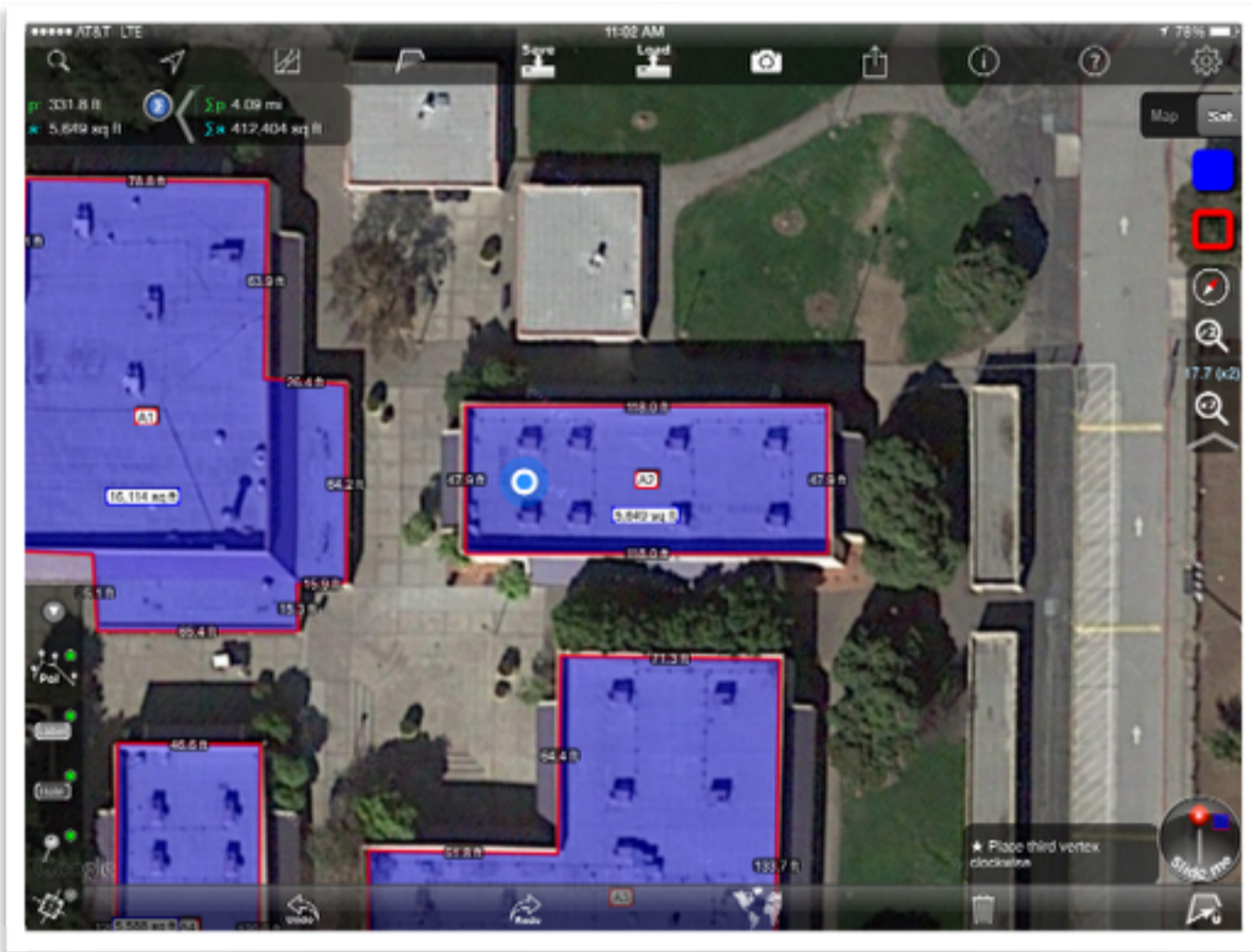
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2004	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS							#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>				RATING	7
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>				RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>				RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>				RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>				RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$5,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$84,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing to be recoated.



The photo below shows some base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	A3
ROOF SQ FT	13,800

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input checked="" type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	8
	RESEAL/RECOAT AC DUCT	<input checked="" type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>				
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input checked="" type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input checked="" type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$15,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$207,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows that AC units need some sealing.



The photo below shows penetration sealant failing.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	A4
ROOF SQ FT	5,500

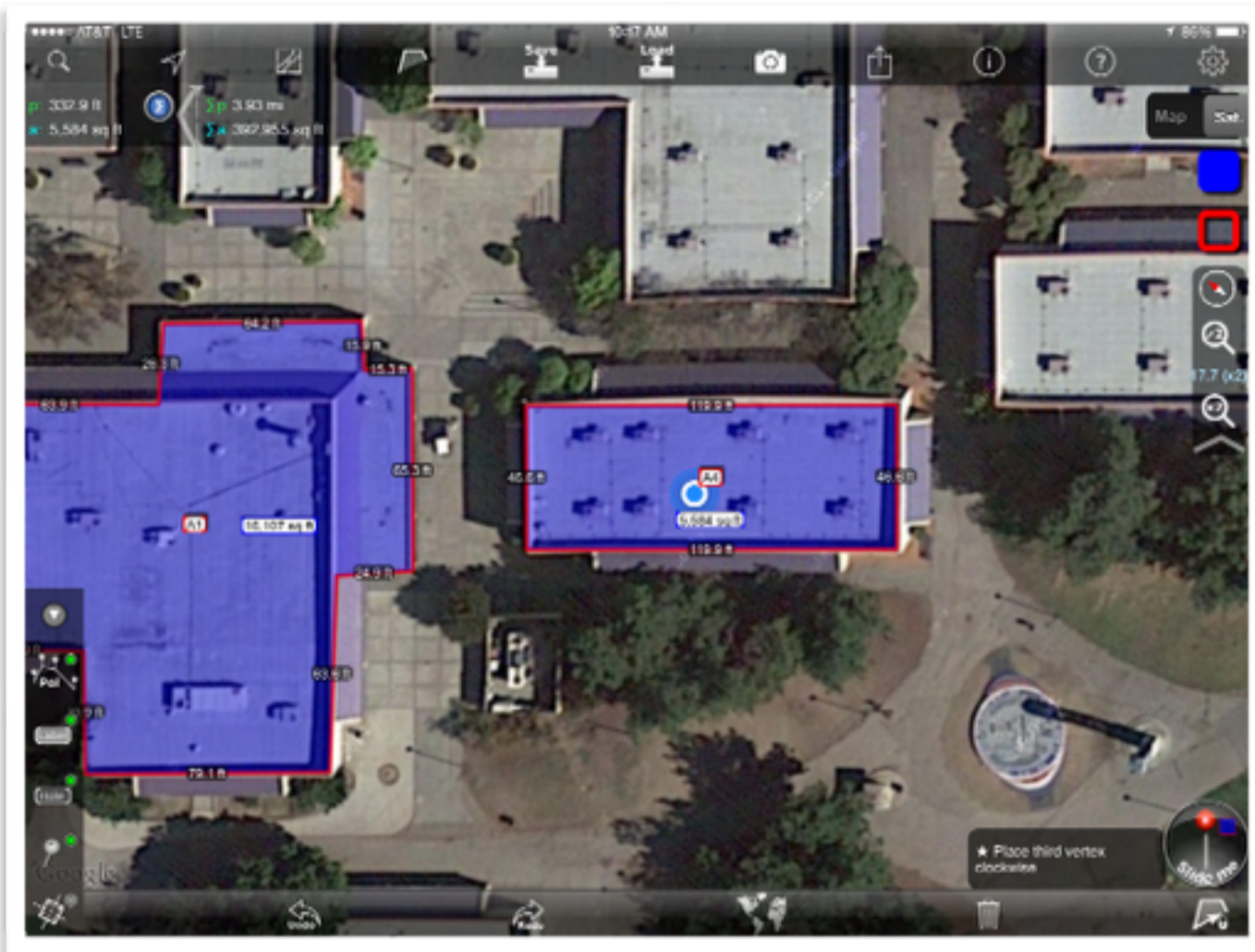
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input checked="" type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$82,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows some ponding.



The photo below shows penetration sealant failing.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 23, 2014
BUILDING	B1
ROOF SQ FT	15,800

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2005	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input checked="" type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input checked="" type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input checked="" type="checkbox"/>		NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
DECK REPLACEMENT	\$4,000.00
ROOF REPLACEMENT	\$237,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the parapet walls and flashing needs to be resealed and recoated.



The photo below shows the fire damaged area. Deck replacement in this area is needed.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 23, 2014
BUILDING	B2
ROOF SQ FT	5,500

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2008	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$82,500.00

An aerial view of the building.



An overview photo from the roof level.



Trimming the trees will prolong the life of the roof.



The photo below shows some base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 23, 2014
BUILDING	B3
ROOF SQ FT	13,800

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2005	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		RESEAL WALL FLASHING	<input checked="" type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$7,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$207,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows that penetration mastic failing.



The photo below shows wall flashing sealant failing.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 23, 2014
BUILDING	B4
ROOF SQ FT	13,800

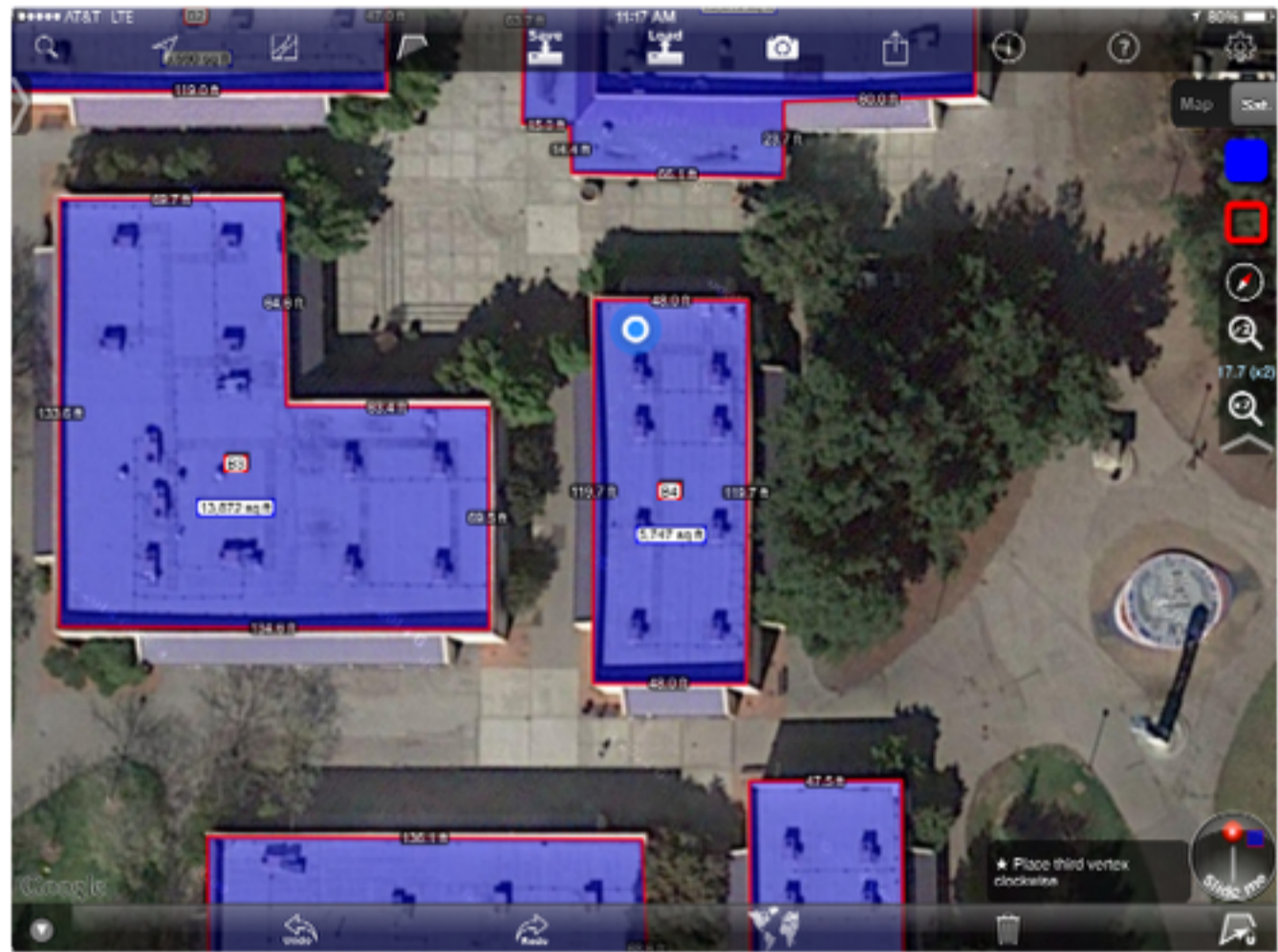
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2005	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$7,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$207,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the wall coating and flashing in fair condition.



The photo below shows some base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	C1
ROOF SQ FT	12,400

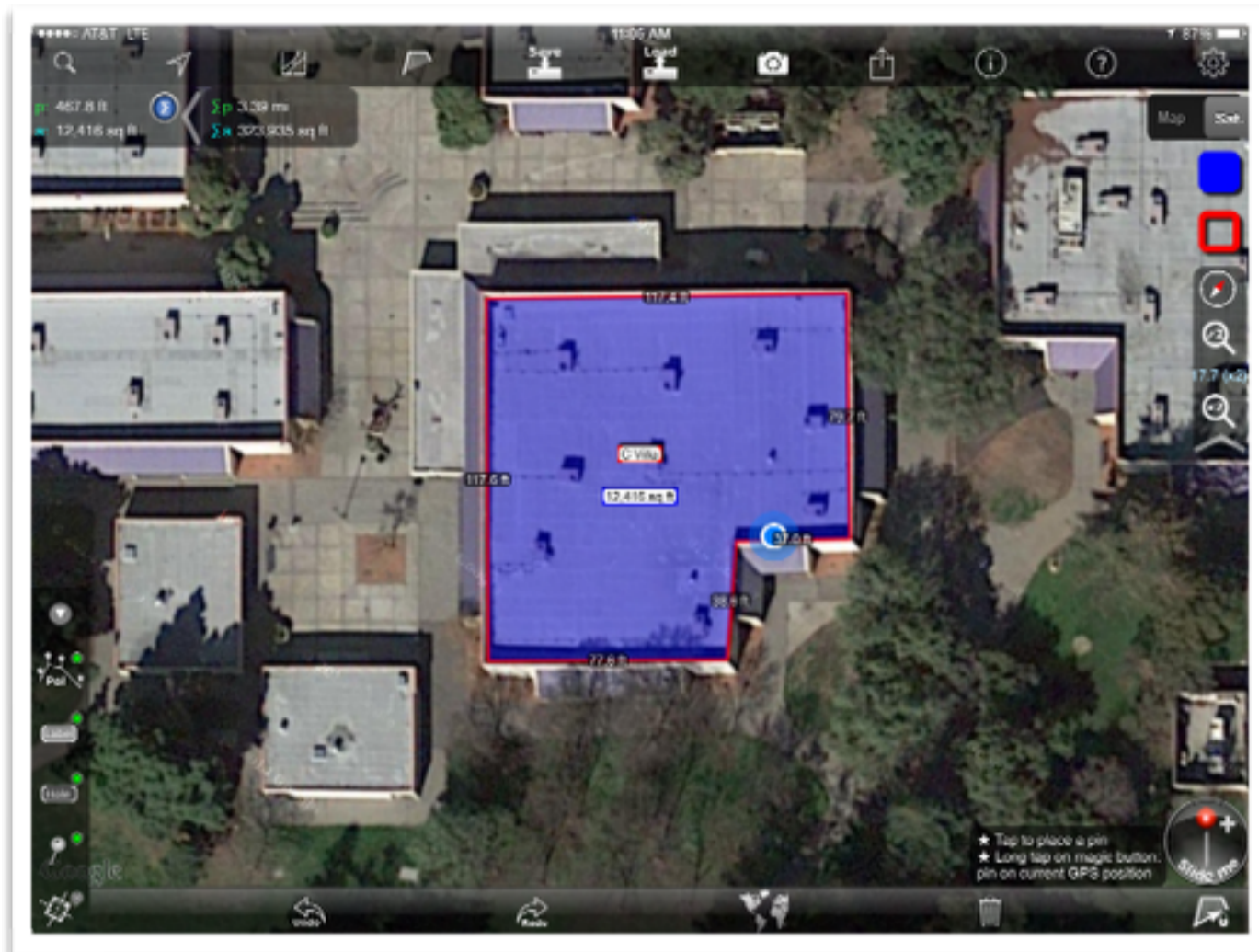
ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input checked="" type="checkbox"/>			SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>				
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$10,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$186,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	C2
ROOF SQ FT	5,500

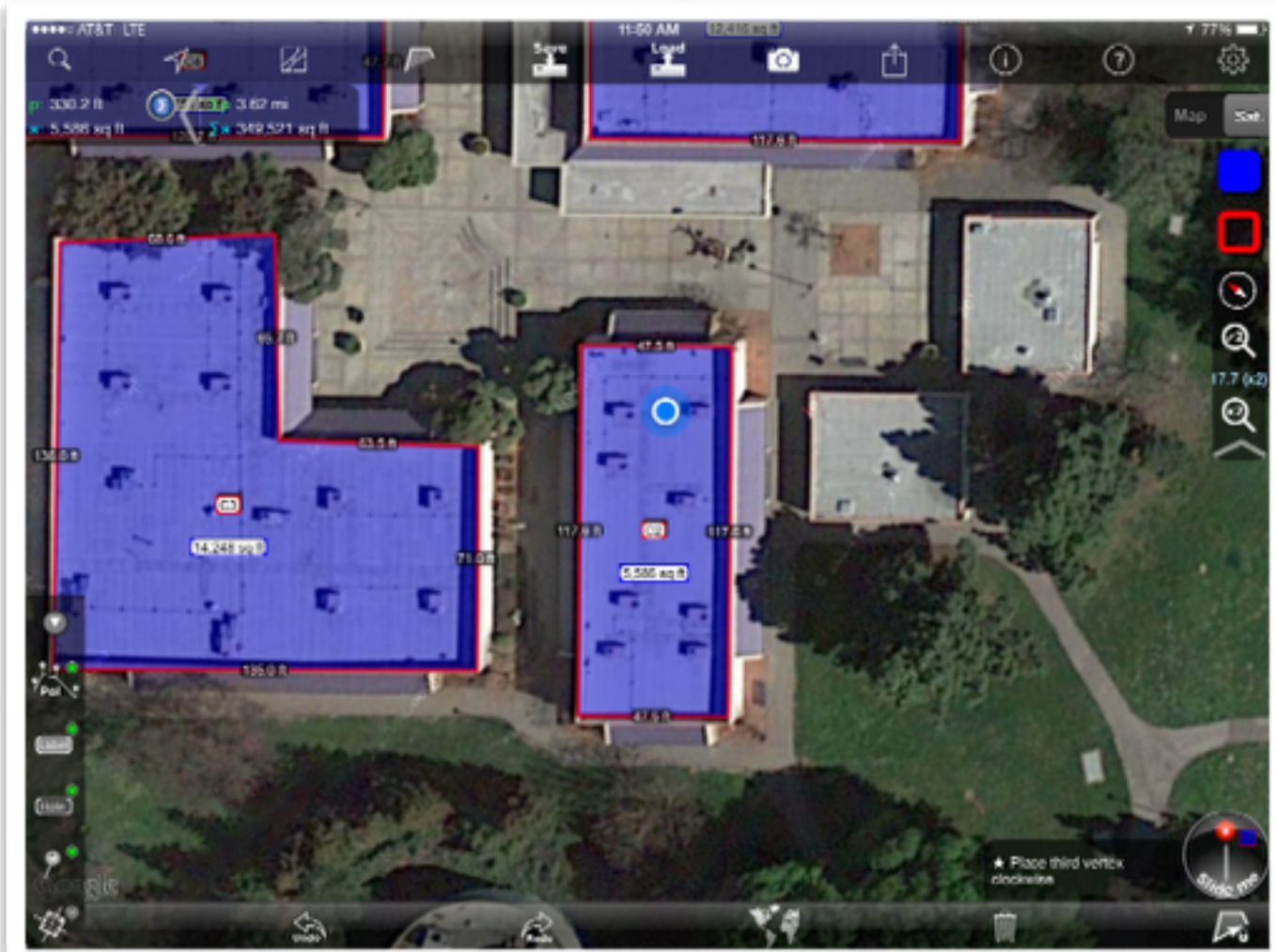
ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS				#		
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6	
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7	
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	4	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input checked="" type="checkbox"/>	SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>		
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTER CLEAR	<input checked="" type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$5,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$82,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	C3
ROOF SQ FT	14,200

ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input checked="" type="checkbox"/>			SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>				
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTER CLEAN	<input checked="" type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$8,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$213,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	C4
ROOF SQ FT	5,700

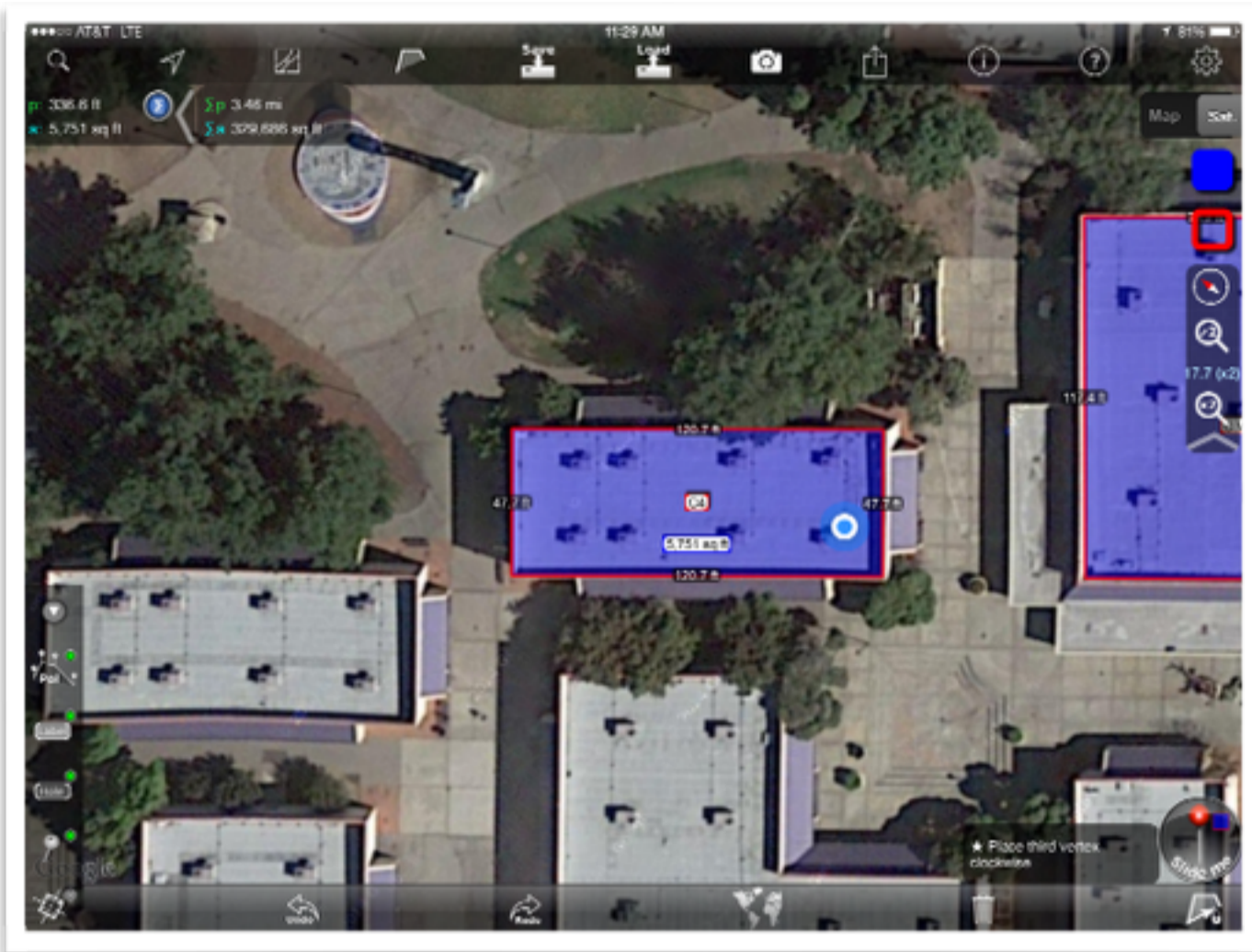
ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS				#		
FIELD	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	5	
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input checked="" type="checkbox"/>	SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8	
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	4	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input checked="" type="checkbox"/>	SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>		
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input checked="" type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$8,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$85,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing to be recoated.



The photo below shows penetration base flashing craze cracking.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	D1
ROOF SQ FT	15,500

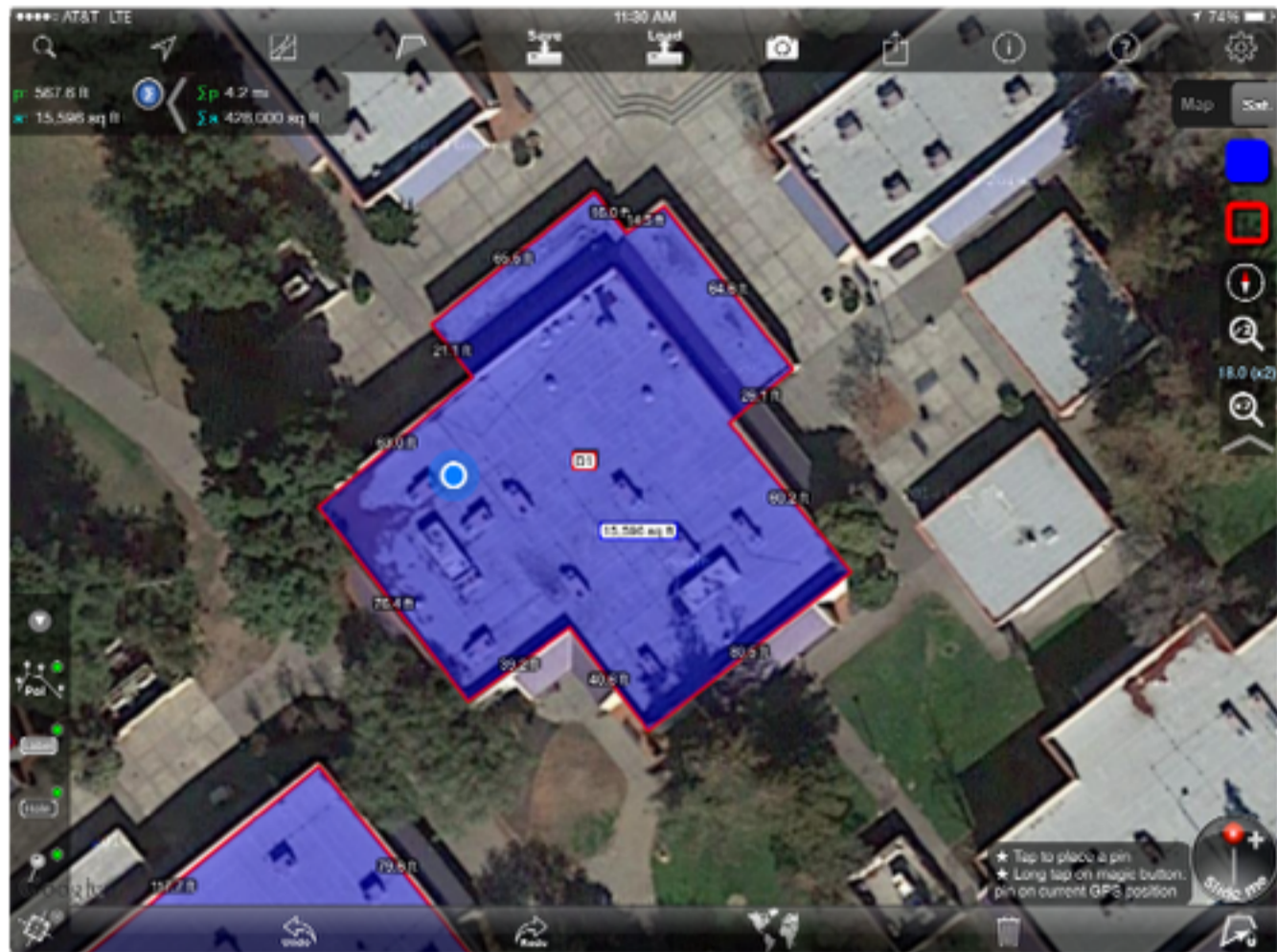
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input checked="" type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input checked="" type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input checked="" type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>			<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	2
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input checked="" type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>		HVAC REPAIR NEEDED	<input checked="" type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$2,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$232,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows a very large ponding area around a slow or plugged drain.



The photo below shows repairs to ponding areas.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	D2
ROOF SQ FT	5,200

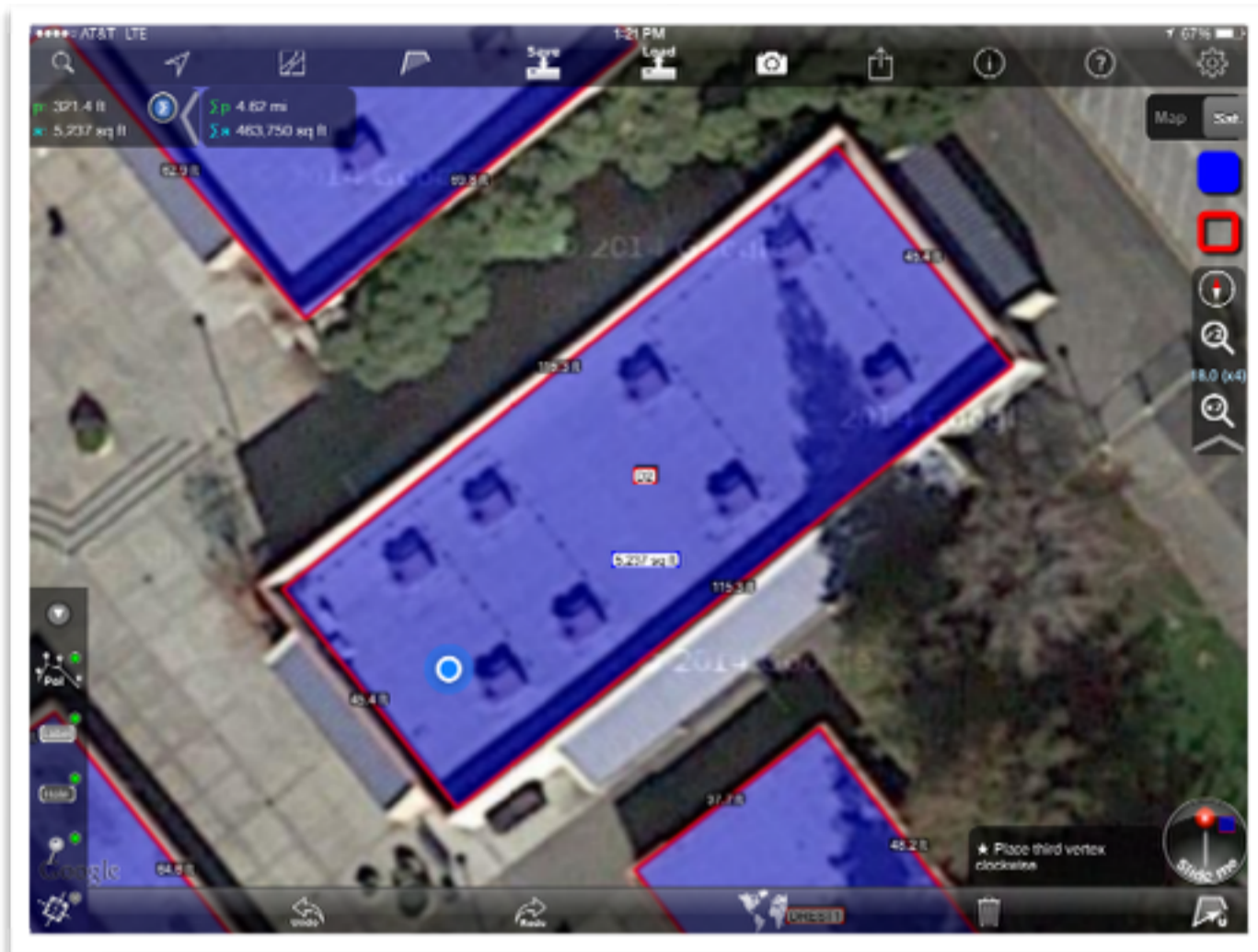
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2006	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS				#		
FIELD	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	6	
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input checked="" type="checkbox"/>	SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	5	
	FILL PONDING AREAS	<input checked="" type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	5	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input checked="" type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$3,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$78,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows some ponding and some membrane ridging.



Keep drains clear to prevent ponding and membrane degradation.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	D3
ROOF SQ FT	13,900

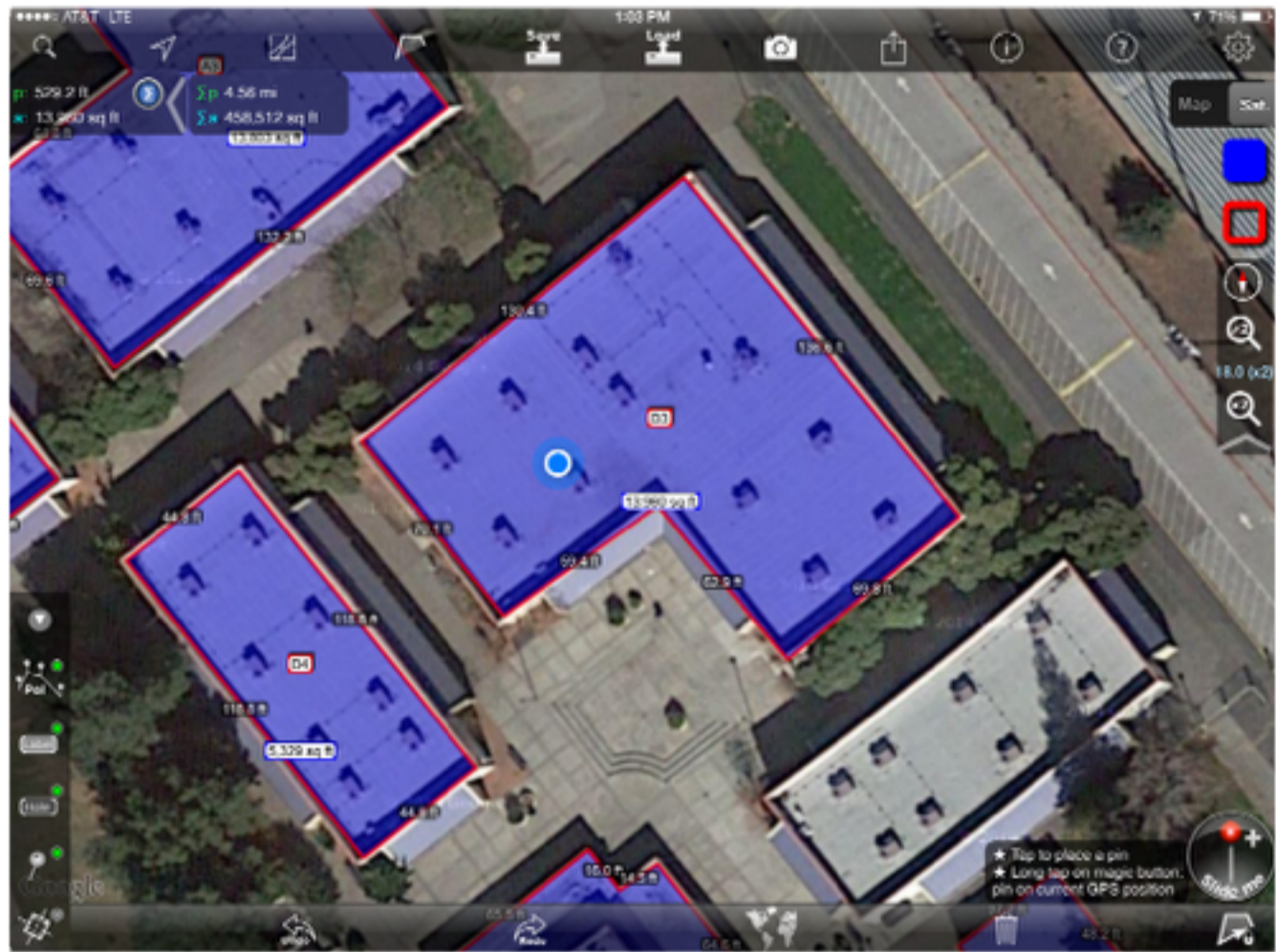
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2004	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS				#		
FIELD	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	5	
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input checked="" type="checkbox"/>	SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	5	
	FILL PONDING AREAS	<input checked="" type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	4	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	UNDER CONTRACTOR WARRANTY
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$208,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows a large area of ponding from deck deflection.



The photo below shows heavy ponding causing membrane ridging and failure.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	D4
ROOF SQ FT	5,600

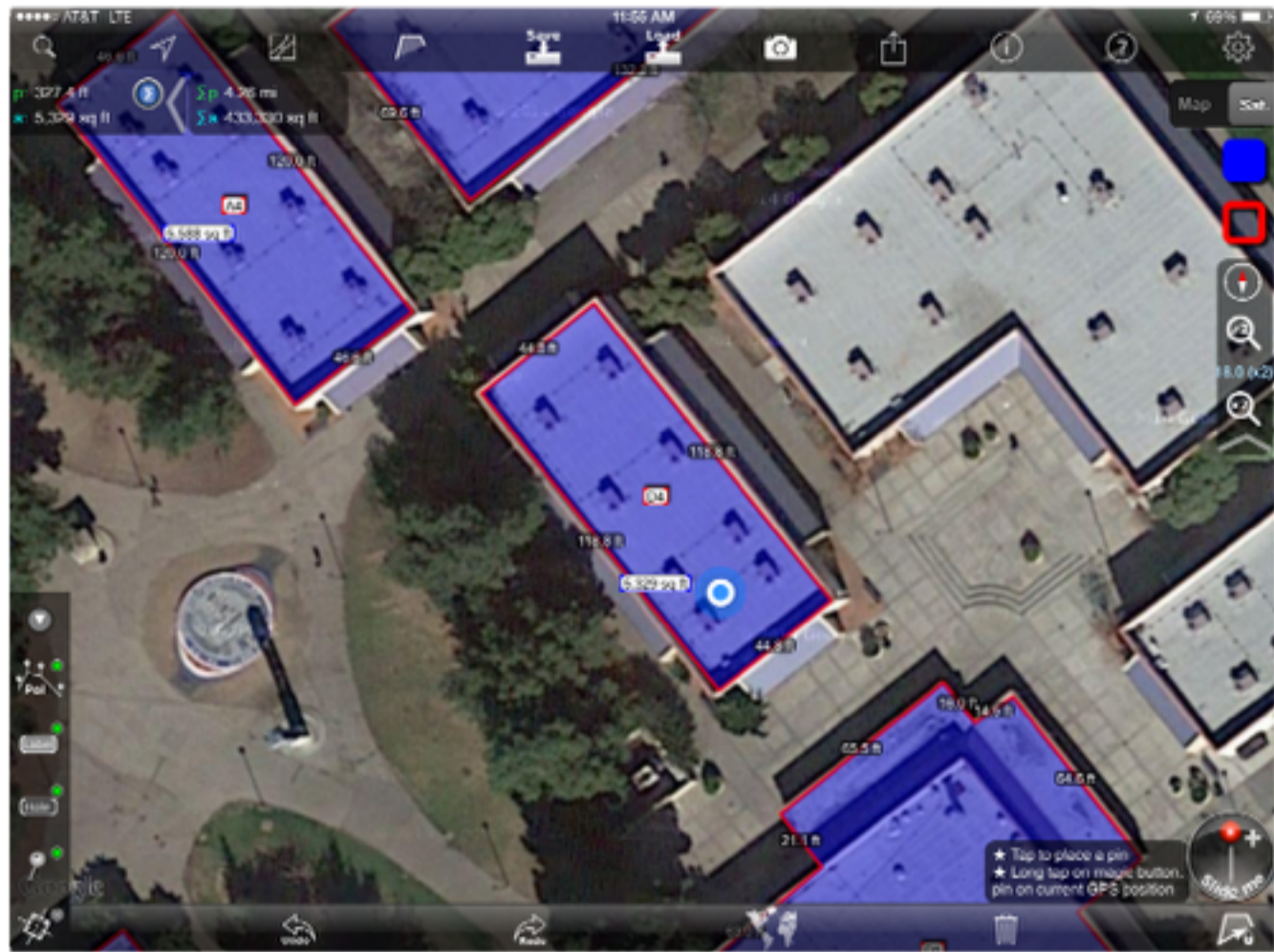
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	BUR 2006	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	BLISTERS or RIDGING	<input checked="" type="checkbox"/>			SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input checked="" type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$2,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$84,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows some ridging in the field membrane.



The photo below shows ponding around a slow or blocked drain.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	E
ROOF SQ FT	9,700

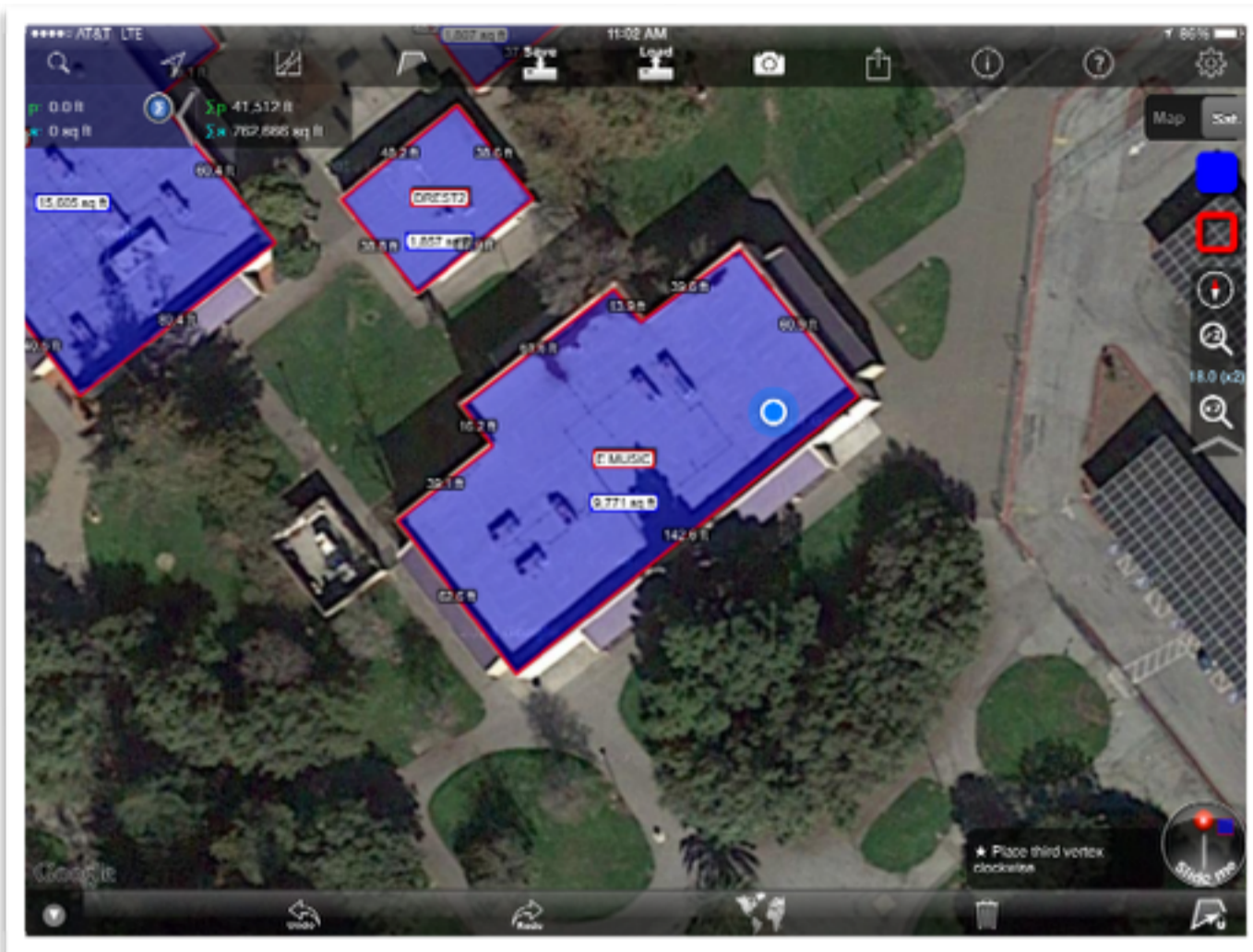
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input checked="" type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$5,600.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$145,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing repair and a new coating.



The photo below shows blistering of the membrane at the wall base.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	F
ROOF SQ FT	21,700

ROOF CONSTRUCTION							
ROOF AGE	UNKOWN <input type="checkbox"/>	SS 1976 <input checked="" type="checkbox"/>	5-10 YEARS <input type="checkbox"/>	10-15 YEARS <input type="checkbox"/>	15+ YEARS <input checked="" type="checkbox"/>		
DECK TYPE	SS METAL <input checked="" type="checkbox"/>	BUR PLYWOOD <input checked="" type="checkbox"/>	PLANK <input type="checkbox"/>	CONCRETE <input type="checkbox"/>	LW CONCRETE <input type="checkbox"/>		
INSULATION	BUR NONE <input checked="" type="checkbox"/>	ISO <input type="checkbox"/>	FIBER <input type="checkbox"/>	PERLITE <input type="checkbox"/>	STYRO <input type="checkbox"/>		
INSUL THICK	1 INCH <input type="checkbox"/>	2 INCH <input type="checkbox"/>	3 INCH <input type="checkbox"/>	4 INCH <input type="checkbox"/>	TAPERED <input type="checkbox"/>		
MEMBRANE	METAL SS <input checked="" type="checkbox"/>	SINGLE PLY <input type="checkbox"/>	BUR <input checked="" type="checkbox"/>	MOD BIT <input type="checkbox"/>	TWO SYSTEMS <input checked="" type="checkbox"/>		
MEM SURFACE	COATING <input type="checkbox"/>	MS CAP <input checked="" type="checkbox"/>	GRAVEL <input type="checkbox"/>	SMOOTH <input type="checkbox"/>			
FLASHINGS	CAPSHEET <input checked="" type="checkbox"/>						
DRAINAGE	JOSAM <input checked="" type="checkbox"/>	SCUPPERS <input type="checkbox"/>	SS GUTTERS <input checked="" type="checkbox"/>	OVER EDGE <input type="checkbox"/>			
SLOPE	NONE <input type="checkbox"/>	1:12 <input type="checkbox"/>	2:12 <input checked="" type="checkbox"/>	3:12 <input type="checkbox"/>	SS 4:12 <input checked="" type="checkbox"/>		

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS				#
FIELD	REPAIRS NEEDED <input type="checkbox"/>		RATING	2
	RESEAL SEAMS <input type="checkbox"/>	BLISTERS or RIDGING <input checked="" type="checkbox"/>	SS RATING	2
	CLEAR ROOF OF DEBRIS <input type="checkbox"/>	DECK REPAIR NEEDED <input type="checkbox"/>		
	DECK REPAIR SUSPECTED <input checked="" type="checkbox"/>	RESEAL/RPLACE FASTENERS <input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED <input type="checkbox"/>		RATING	3
	FILL PONDING AREAS <input type="checkbox"/>	FIX DECK DEFLECTION <input checked="" type="checkbox"/>		
	<input type="checkbox"/>	<input type="checkbox"/>		
	<input type="checkbox"/>	<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED <input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL <input type="checkbox"/>	RESEAL/REPAIR SELECT <input type="checkbox"/>	SS RATING	2
	RESEAL/RECOAT AC DUCT <input type="checkbox"/>	RESEAL/RECOAT WALL <input type="checkbox"/>		
	BASE FLASH CRAZE CRACKING <input checked="" type="checkbox"/>	<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED <input type="checkbox"/>		RATING	3
	ADD/ENHANCE CRICKETS <input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW <input checked="" type="checkbox"/>		
	CLEAR DRAINS <input type="checkbox"/>	ADD GUTTER <input checked="" type="checkbox"/>		
	GUTTER REPAIR NEEDED <input checked="" type="checkbox"/>	GUTTER COATING NEEDED <input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED <input type="checkbox"/>		RATING	4
	RESEAL/REPAIR ALL <input type="checkbox"/>	RESEAL/REPAIR SELECT <input type="checkbox"/>		
	<input type="checkbox"/>	<input type="checkbox"/>		
	<input type="checkbox"/>	<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN <input type="checkbox"/>	KEEP WATERWAYS CLEAN <input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF <input checked="" type="checkbox"/>	TRIM TREES <input checked="" type="checkbox"/>		
	CLEAR ROOF OF DEBRIS <input type="checkbox"/>	HVAC REPAIR NEEDED <input type="checkbox"/>		
	HAZMAT SUSPECTED <input checked="" type="checkbox"/>	<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$217,000.00
ROOF REPLACEMENT	\$282,100.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the BUR system failing - this system is over twenty years old.



The photo below shows the '70's metal roof very deteriorated.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 25, 2014
BUILDING	G3
ROOF SQ FT	2,900

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	2
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input checked="" type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		REPLACE WALL PLYWOOD	<input checked="" type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input checked="" type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input checked="" type="checkbox"/>			
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$43,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the wall plywood needs to be replaced.



The increased degradation of the membrane from the wall leaks can be seen.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 25, 2014
BUILDING	H
ROOF SQ FT	5,700

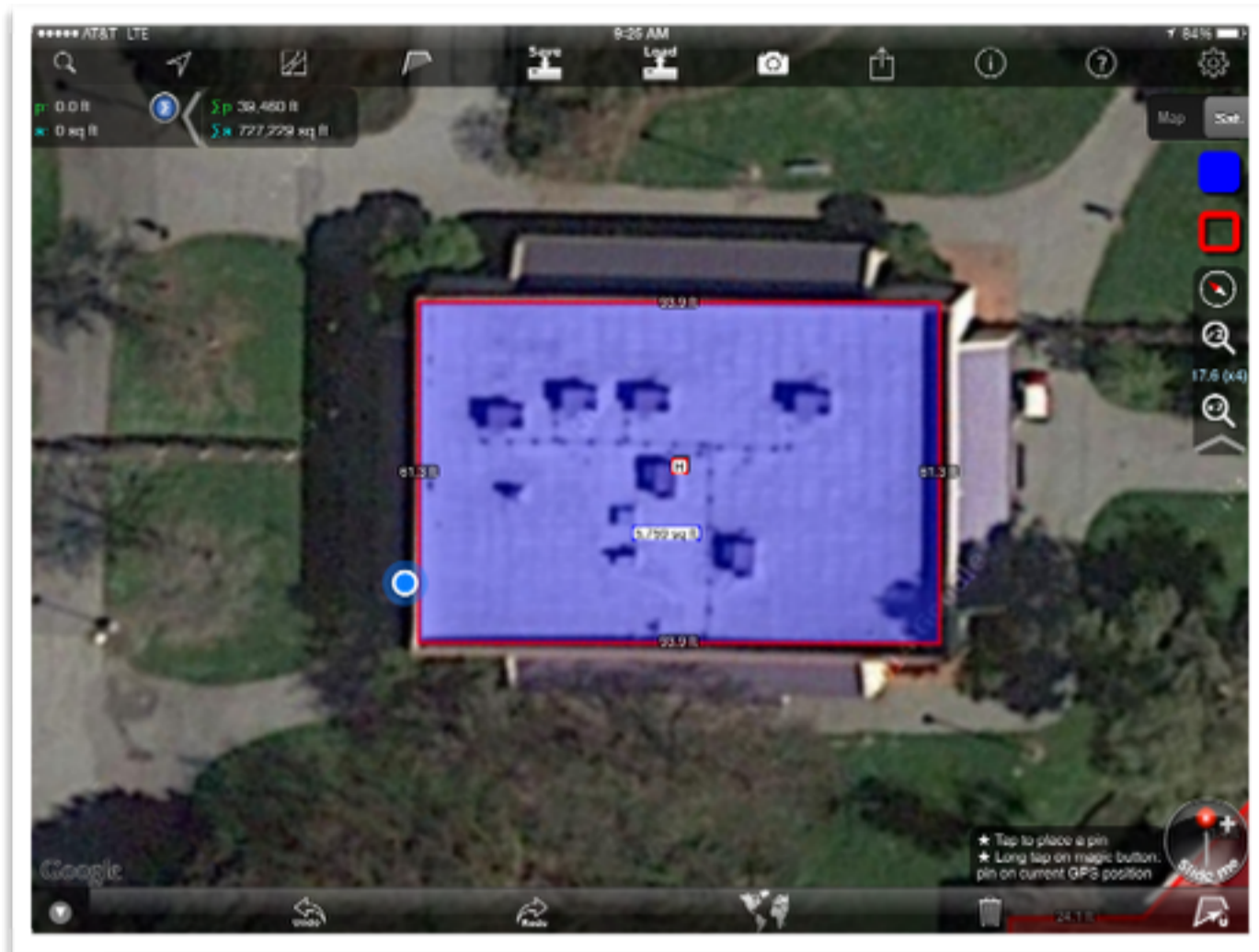
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input checked="" type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input checked="" type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input checked="" type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL WALL FLASHING	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input checked="" type="checkbox"/>		NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$2,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$85,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing a new sealant.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	K1
ROOF SQ FT	7,000

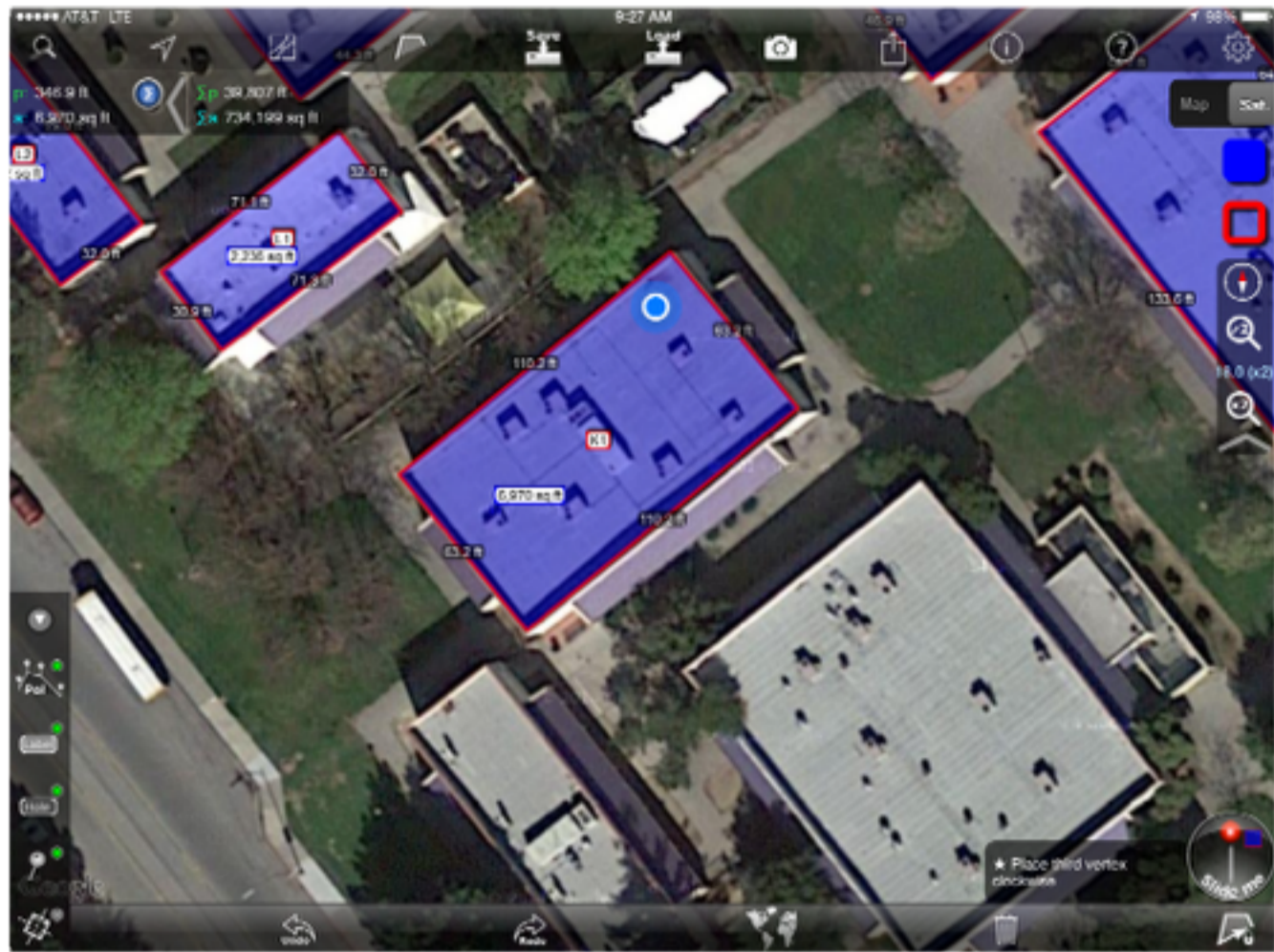
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input checked="" type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input checked="" type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$105,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the walls needing repair and a new coating.



The photo below shows ridging of the membrane.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	K2
ROOF SQ FT	3,200

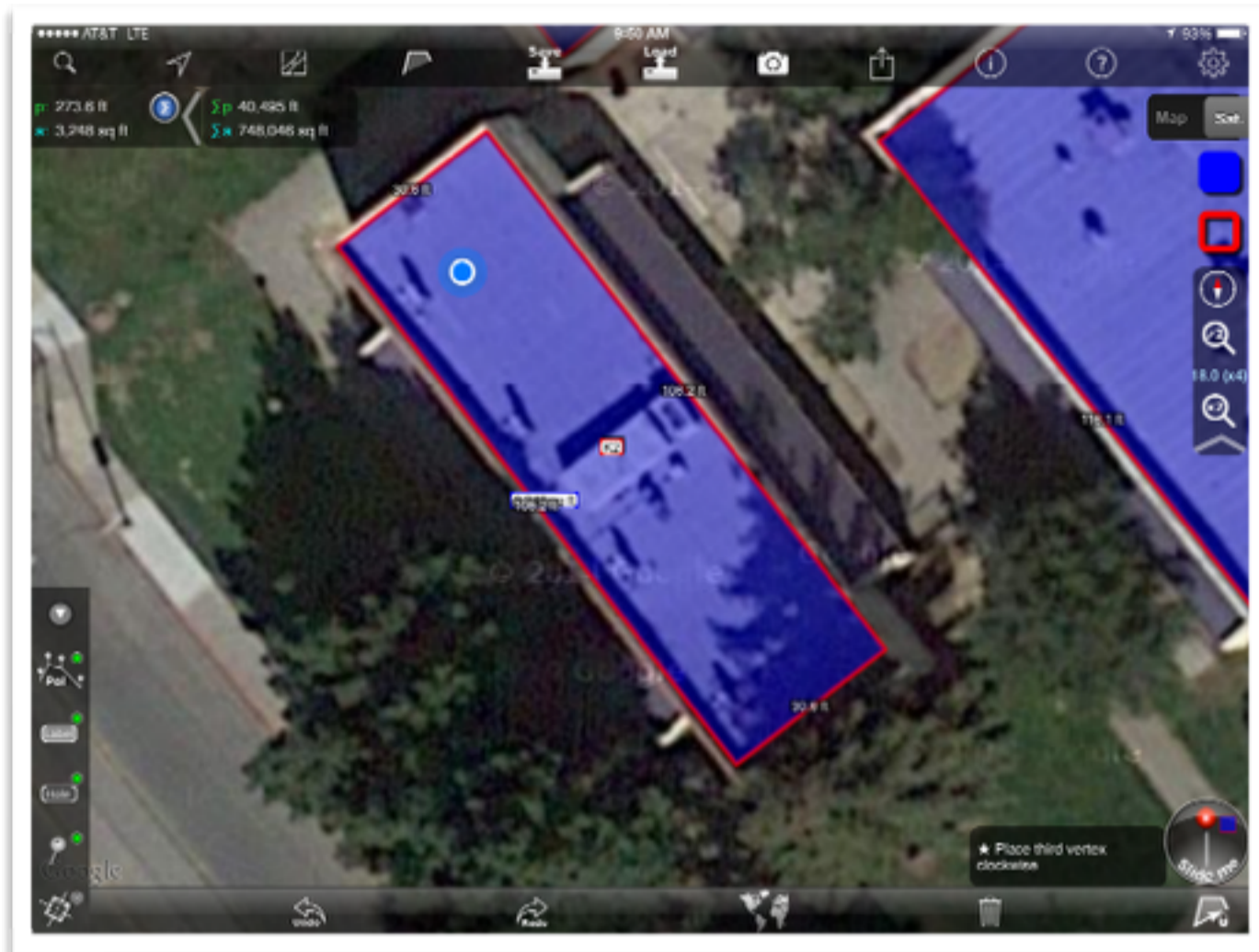
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input checked="" type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$4,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$48,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows that repairs are needed on penetration details.



The photo below shows signs of leaking and wall moisture penetration.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	K3
ROOF SQ FT	11,000

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input checked="" type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$4,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$165,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows ridging in the membrane.



The photo below shows the shiny edges of the membrane which is wearing out.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 24, 2014
BUILDING	L1, L3, L4, L5
ROOF SQ FT	3,600

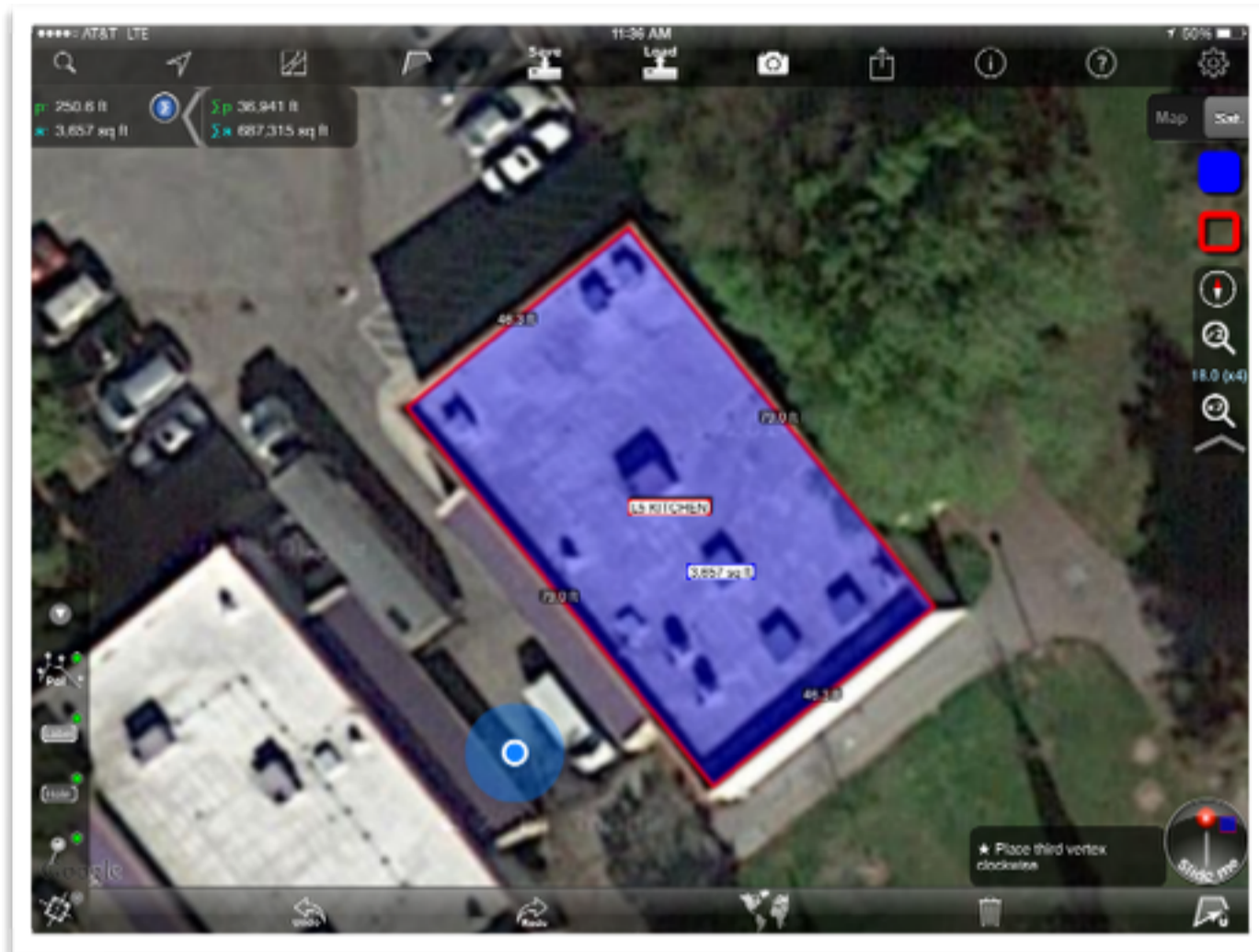
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input checked="" type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input checked="" type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input checked="" type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT SOUTH WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>			<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input checked="" type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$54,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the wall in good shape.



The photo below shows penetrations in good shape.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 24, 2014
BUILDING	L2
ROOF SQ FT	2,500

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	2
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input checked="" type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT SOUTH WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input checked="" type="checkbox"/>		NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$37,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the membrane at the end of its lifetime.



The photo below shows that coating and sealing the wall is necessary.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 25, 2014
BUILDING	Library
ROOF SQ FT	14,300

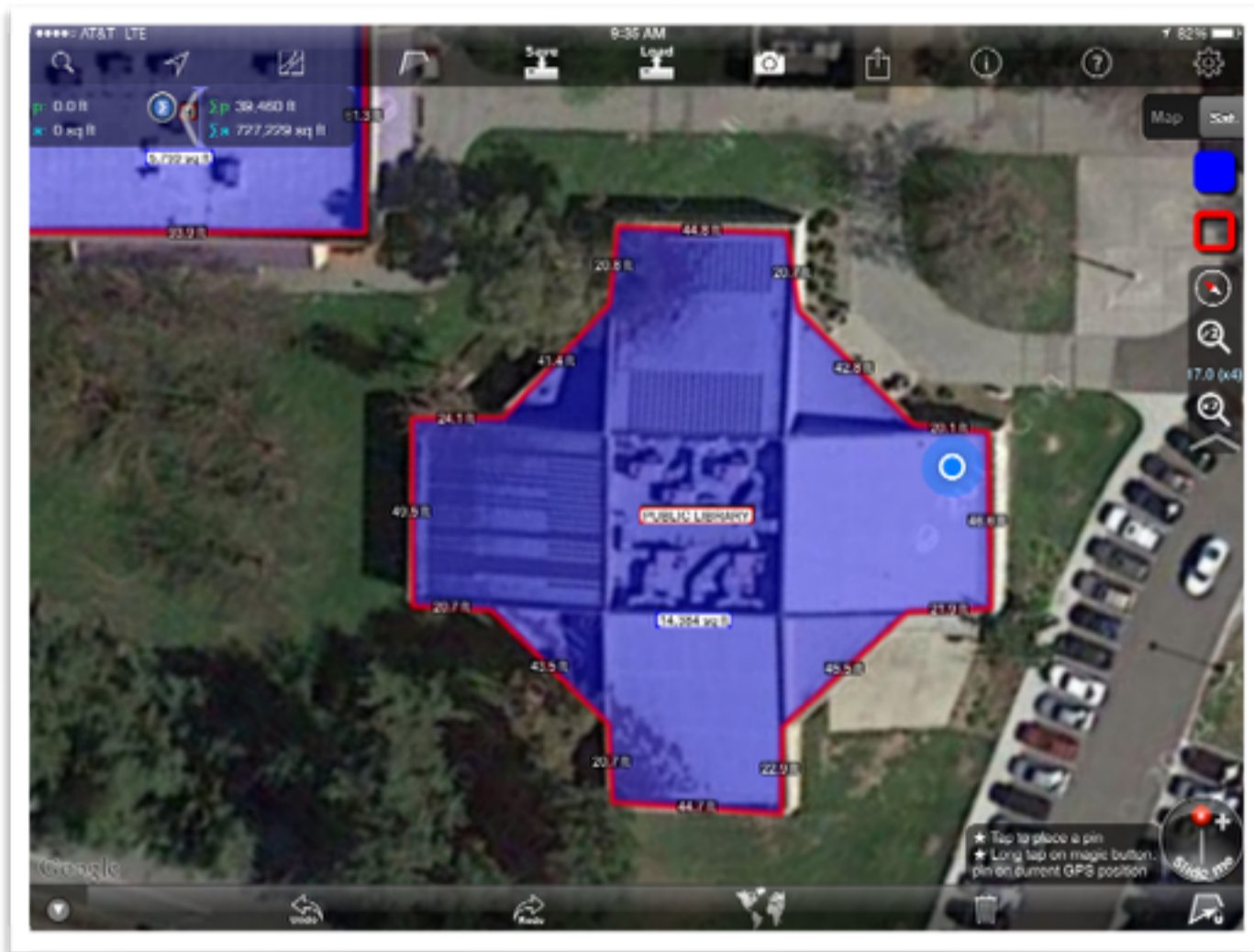
ROOF CONSTRUCTION							
ROOF AGE	UNKOWN <input type="checkbox"/>	SS 1976 <input checked="" type="checkbox"/>	5-10 YEARS <input type="checkbox"/>	10-15 YEARS <input type="checkbox"/>	15+ YEARS <input checked="" type="checkbox"/>		
DECK TYPE	SS METAL <input checked="" type="checkbox"/>	BUR PLYWOOD <input checked="" type="checkbox"/>	PLANK <input type="checkbox"/>	CONCRETE <input type="checkbox"/>	LW CONCRETE <input type="checkbox"/>		
INSULATION	BUR NONE <input checked="" type="checkbox"/>	ISO <input type="checkbox"/>	FIBER <input type="checkbox"/>	PERLITE <input type="checkbox"/>	STYRO <input type="checkbox"/>		
INSUL THICK	1 INCH <input type="checkbox"/>	2 INCH <input type="checkbox"/>	3 INCH <input type="checkbox"/>	4 INCH <input type="checkbox"/>	TAPERED <input type="checkbox"/>		
MEMBRANE	METAL SS <input checked="" type="checkbox"/>	SINGLE PLY <input type="checkbox"/>	BUR <input checked="" type="checkbox"/>	MOD BIT <input type="checkbox"/>	TWO SYSTEMS <input checked="" type="checkbox"/>		
MEM SURFACE	COATING <input type="checkbox"/>	MS CAP <input checked="" type="checkbox"/>	GRAVEL <input type="checkbox"/>	SMOOTH <input type="checkbox"/>			
FLASHINGS	CAPSHEET <input checked="" type="checkbox"/>						
DRAINAGE	JOSAM <input checked="" type="checkbox"/>	SCUPPERS <input type="checkbox"/>	SS GUTTERS <input checked="" type="checkbox"/>	OVER EDGE <input type="checkbox"/>			
SLOPE	NONE <input type="checkbox"/>	1:12 <input checked="" type="checkbox"/>	2:12 <input type="checkbox"/>	SS 3:12 <input checked="" type="checkbox"/>	4:12 <input type="checkbox"/>		

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS							#
FIELD	REPAIRS NEEDED <input type="checkbox"/>					RATING	2
	RESEAL SEAMS <input type="checkbox"/>	BLISTERS or RIDGING <input checked="" type="checkbox"/>			SS RATING	2	
	CLEAR ROOF OF DEBRIS <input type="checkbox"/>	DECK REPAIR NEEDED <input type="checkbox"/>					
	DECK REPAIR SUSPECTED <input checked="" type="checkbox"/>	RESEAL/RPLACE FASTENERS <input type="checkbox"/>					
PITCH/POND	REPAIRS NEEDED <input type="checkbox"/>					RATING	3
	FILL PONDING AREAS <input type="checkbox"/>	FIX DECK DEFLECTION <input checked="" type="checkbox"/>					
	<input type="checkbox"/>	<input type="checkbox"/>					
	<input type="checkbox"/>	<input type="checkbox"/>					
FLASHING	REPAIRS NEEDED <input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL <input type="checkbox"/>	RESEAL/REPAIR SELECT <input type="checkbox"/>			SS RATING	2	
	RESEAL/RECOAT AC DUCT <input type="checkbox"/>	RESEAL/RECOAT WALL <input type="checkbox"/>					
	BASE FLASH CRAZE CRACKING <input checked="" type="checkbox"/>	<input type="checkbox"/>					
DRAINAGE	REPAIRS NEEDED <input type="checkbox"/>					RATING	3
	ADD/ENHANCE CRICKETS <input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW <input checked="" type="checkbox"/>					
	CLEAR DRAINS <input type="checkbox"/>	ADD GUTTER <input type="checkbox"/>					
	GUTTER REPAIR NEEDED <input type="checkbox"/>	GUTTER COATING NEEDED <input type="checkbox"/>					
PENETRATION	REPAIRS NEEDED <input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL <input type="checkbox"/>	RESEAL/REPAIR SELECT <input type="checkbox"/>					
	<input type="checkbox"/>	<input type="checkbox"/>					
	<input type="checkbox"/>	<input type="checkbox"/>					
MAINTENANCE	KEEP DRAINS CLEAN <input type="checkbox"/>	KEEP WATERWAYS CLEAN <input type="checkbox"/>					
	SPOT REPAIR UNTIL REROOF <input checked="" type="checkbox"/>	TRIM TREES <input checked="" type="checkbox"/>					
	CLEAR ROOF OF DEBRIS <input type="checkbox"/>	HVAC REPAIR NEEDED <input type="checkbox"/>					
	HAZMAT SUSPECTED <input checked="" type="checkbox"/>	<input type="checkbox"/>					
LEAKS	EVIDENCE OF LEAKS <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>				

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$157,300.00
ROOF REPLACEMENT	\$200,200.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the BUR system on the lower level - the system is at its end.



The photo below shows the standing seam systems wall flashing needs to be replaced.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	N1 and N2
ROOF SQ FT	5,800

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS and BUR - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$87,000.00

An aerial view of the building.



An overview photo from the roof level.



Another overview photo from the roof level.



The photo below shows the walls in good shape.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 22, 2014
BUILDING	GYM
ROOF SQ FT	22,800

ROOF CONSTRUCTION										
ROOF AGE	SS 2004	<input checked="" type="checkbox"/>	BUR 2004	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input checked="" type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input checked="" type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input checked="" type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input checked="" type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$342,000.00

The photo below shows the lower metal standing seam roof - keep the valleys clear.



Keep drains clear to prevent ponding and membrane degradation.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	Portables 25-30, Portable Restrooms 3
ROOF SQ FT	7,300

ROOF CONSTRUCTION							
ROOF AGE	UNKNOWN <input type="checkbox"/>	0-5 YEARS <input type="checkbox"/>	5-10 YEARS <input checked="" type="checkbox"/>	10-15 YEARS <input type="checkbox"/>	15+ YEARS <input type="checkbox"/>		
DECK TYPE	METAL <input type="checkbox"/>	PLYWOOD <input type="checkbox"/>	PLANK <input type="checkbox"/>	CONCRETE <input type="checkbox"/>	LW CONCRETE <input type="checkbox"/>		
INSULATION	NONE <input type="checkbox"/>	ISO <input type="checkbox"/>	FIBER <input type="checkbox"/>	PERLITE <input type="checkbox"/>	STYRO <input type="checkbox"/>		
INSUL THICK	1 INCH <input type="checkbox"/>	2 INCH <input type="checkbox"/>	3 INCH <input type="checkbox"/>	4 INCH <input type="checkbox"/>	TAPERED <input type="checkbox"/>		
MEMBRANE	METAL SS <input checked="" type="checkbox"/>	SINGLE PLY <input type="checkbox"/>	BUR <input type="checkbox"/>	MOD BIT <input type="checkbox"/>	TWO SYSTEMS <input type="checkbox"/>		
MEM SURFACE	COATING <input type="checkbox"/>	MS CAP <input type="checkbox"/>	GRAVEL <input type="checkbox"/>	SMOOTH <input type="checkbox"/>	GALVANIZED <input checked="" type="checkbox"/>		
FLASHINGS	CAPSHEET <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
DRAINAGE	JOSAM <input type="checkbox"/>	SCUPPERS <input type="checkbox"/>	GUTTERS <input checked="" type="checkbox"/>	OVER EDGE <input type="checkbox"/>	<input type="checkbox"/>		
SLOPE	NONE <input type="checkbox"/>	1:12 <input checked="" type="checkbox"/>	2:12 <input type="checkbox"/>	3:12 <input type="checkbox"/>	6:12 <input type="checkbox"/>		

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED <input type="checkbox"/>			RATING	8
	RESEAL SEAMS <input type="checkbox"/>	RESEAL BLISTERS or RIDGING <input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS <input type="checkbox"/>	DECK REPAIR NEEDED <input type="checkbox"/>			
	DECK REPAIR SUSPECTED <input type="checkbox"/>	RESEAL/RPLACE FASTENERS <input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED <input type="checkbox"/>			RATING	8
	FILL PONDING AREAS <input type="checkbox"/>	FIX DECK DEFLECTION <input type="checkbox"/>			
	<input type="checkbox"/>	<input type="checkbox"/>			
	<input type="checkbox"/>	<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED <input type="checkbox"/>			RATING	6
	RESEAL/REPAIR ALL <input type="checkbox"/>	RESEAL/REPAIR SELECT <input type="checkbox"/>			
	RESEAL/RECOAT AC DUCT <input type="checkbox"/>	RESEAL/RECOAT WALL <input type="checkbox"/>			
	<input type="checkbox"/>	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED <input type="checkbox"/>			RATING	7
	ADD/ENHANCE CRICKETS <input type="checkbox"/>	ADD/ENHANCE OVERFLOW <input type="checkbox"/>			
	CLEAR DRAINS <input type="checkbox"/>	ADD GUTTER <input type="checkbox"/>			
	GUTTER REPAIR NEEDED <input type="checkbox"/>	GUTTER COATING NEEDED <input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED <input type="checkbox"/>			RATING	6
	RESEAL/REPAIR ALL <input type="checkbox"/>	RESEAL/REPAIR SELECT <input type="checkbox"/>			
	<input type="checkbox"/>	<input type="checkbox"/>			
	<input type="checkbox"/>	<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN <input type="checkbox"/>	KEEP WATERWAYS CLEAN <input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF <input type="checkbox"/>	TRIM TREES <input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS <input type="checkbox"/>	HVAC REPAIR NEEDED <input type="checkbox"/>			
	HAZMAT SUSPECTED <input type="checkbox"/>	KEEP GUTTERS CLEAR <input checked="" type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS <input type="checkbox"/>	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	GOOD HOWEVER PLAN TO COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 ALTHOUGH THE METAL ROOFS ARE IN GREAT SHAPE THE GALVANIZED COATING HAS A LIFESPAN OF ABOUT 10 YEARS. THE NEED FOR A COATING IS BASED SOLEY ON THE ESTIMATE (GUESS IN THIS CASE) OF THE ROOF AGE.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$2,500.00
ROOF RECOATING	\$73,000.00
ROOF REPLACEMENT	\$0.00

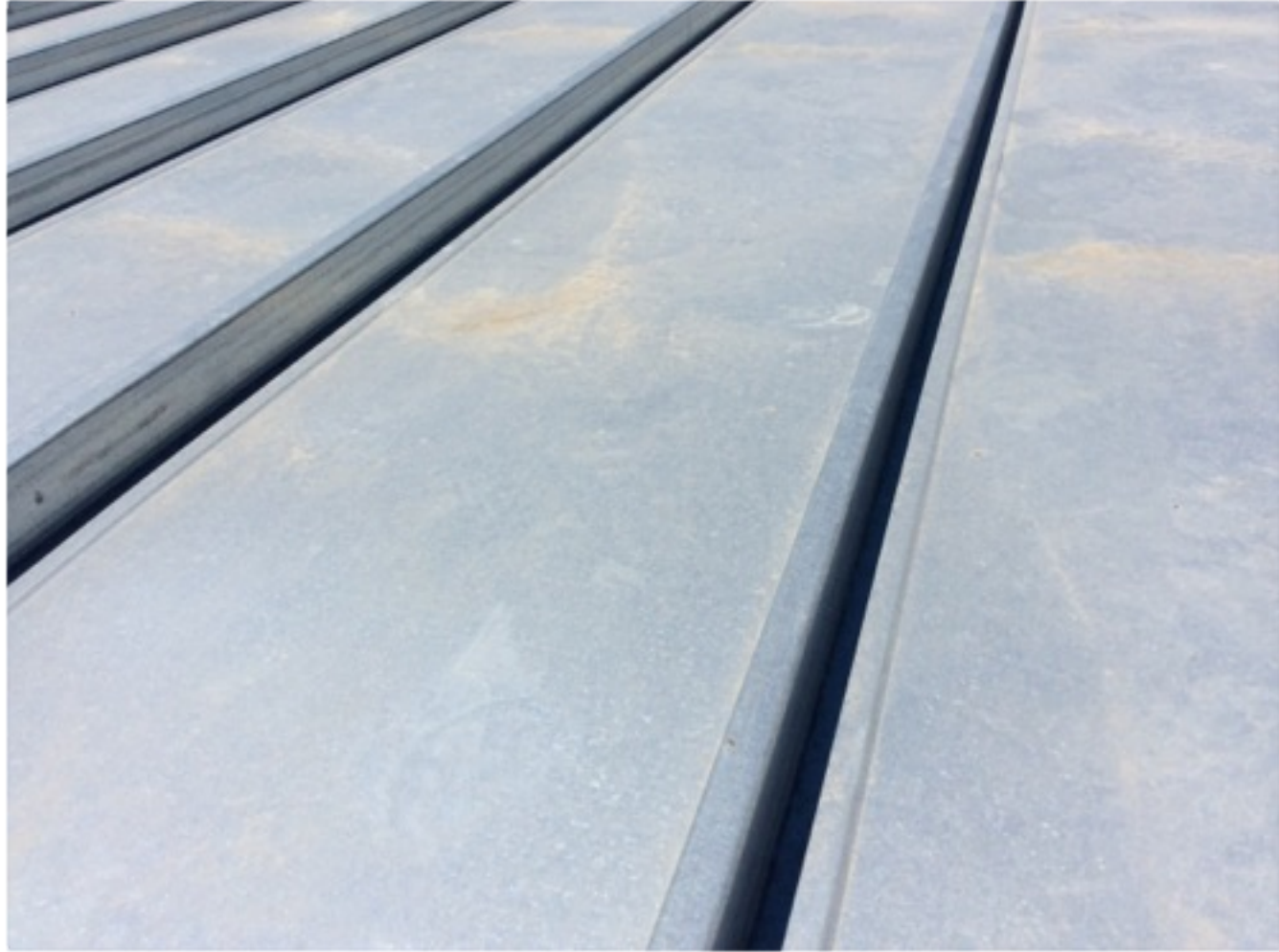
An aerial view of the building.



An overview photo from the roof level.



The photo below shows no signs of rust yet.



The photo below shows another overview shot of the roofs.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	Planetarium
ROOF SQ FT	1,900

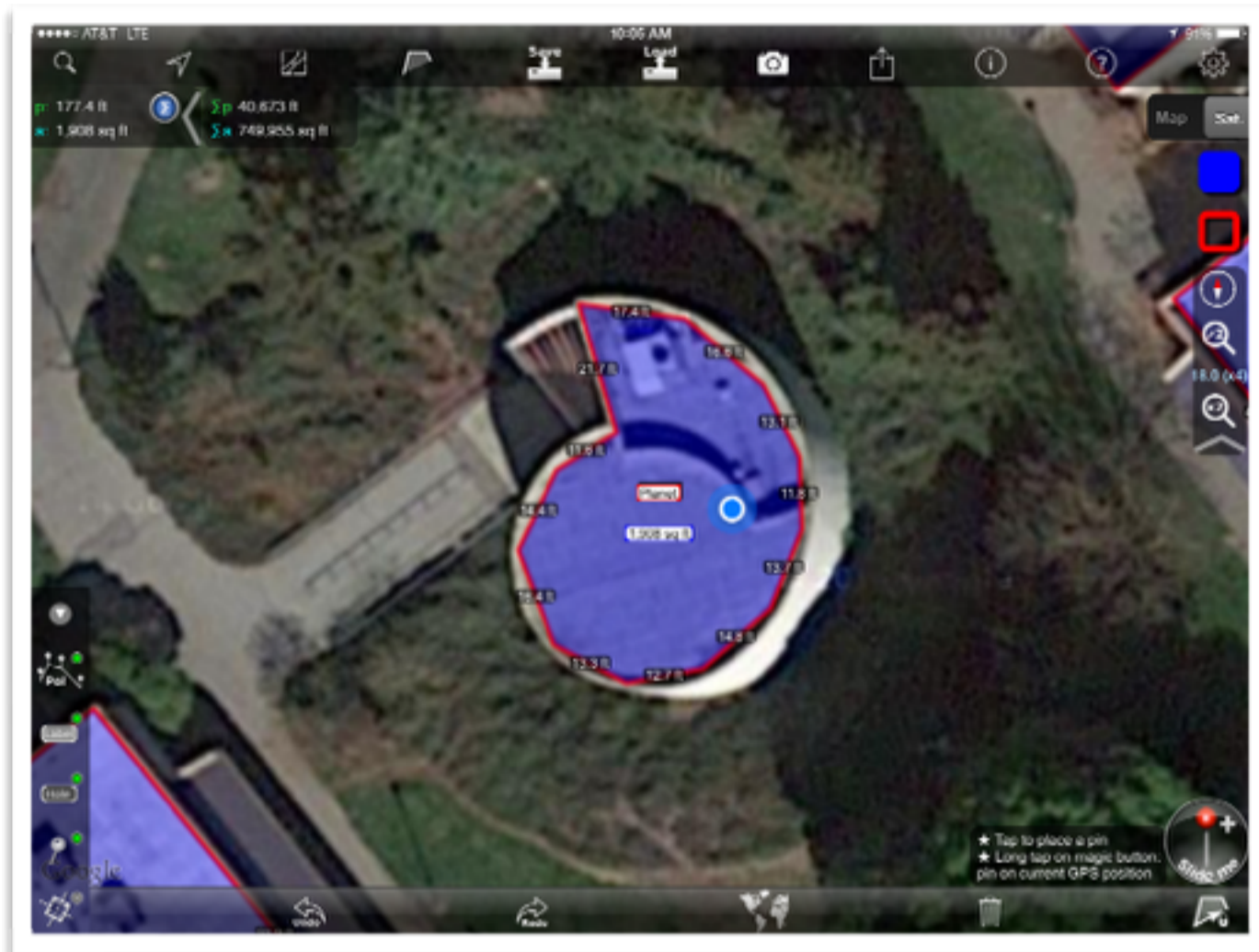
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS				#		
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	2	
	RESEAL SEAMS	<input type="checkbox"/>	BLISTERS or RIDGING	<input checked="" type="checkbox"/>	SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input checked="" type="checkbox"/>	MEMBRANE BRITTLE	<input checked="" type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5	
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	2	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>		
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>	SOME WALL PLYWOOD REPAIR	<input checked="" type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	2	
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	RAISE CURBS	<input checked="" type="checkbox"/>		<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$28,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows that the walls and cap flashing are at the end of their life.



The photo below shows that all flashing needs to be redesigned and replaced.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	Pool Ticket
ROOF SQ FT	390

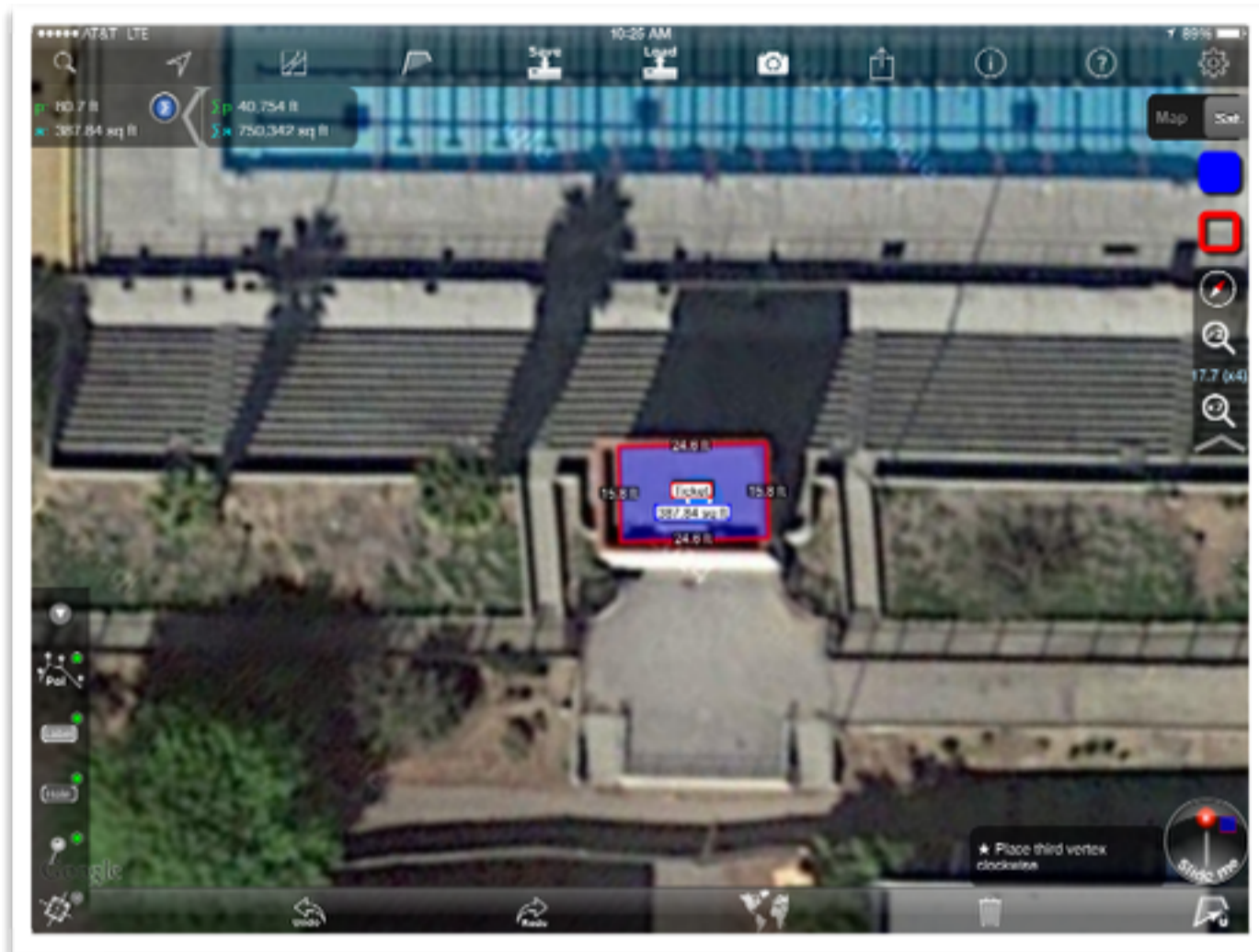
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$2,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$7,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows that some sealant is needed on all flashings.



The photo below shows a plate needed over the single-gang opening.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 28, 2014
BUILDING	Pool
ROOF SQ FT	2,600

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input checked="" type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
	PONDING	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input checked="" type="checkbox"/>		SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input checked="" type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input checked="" type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$2,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$39,000.00

An aerial view of the building.



An overview photo from the roof level.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 31, 2014
BUILDING	Press Box
ROOF SQ FT	235

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL C	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		METAL RATING	4
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		METAL RATING	-
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL CAP JOINTS	<input checked="" type="checkbox"/>			
	INSTALL WALL BASE FLASHING	<input checked="" type="checkbox"/>		COAT WALL	<input checked="" type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$0.00
ROOF RECOATING	\$2,350.00
ROOF REPLACEMENT	\$0.00

An aerial view of the building.



An overview photo from the roof level.



The fasteners need to be replaced and the roof coated.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 23, 2014
BUILDING	Q Locker Room Boys, R Locker Room Girls
ROOF SQ FT	10,800

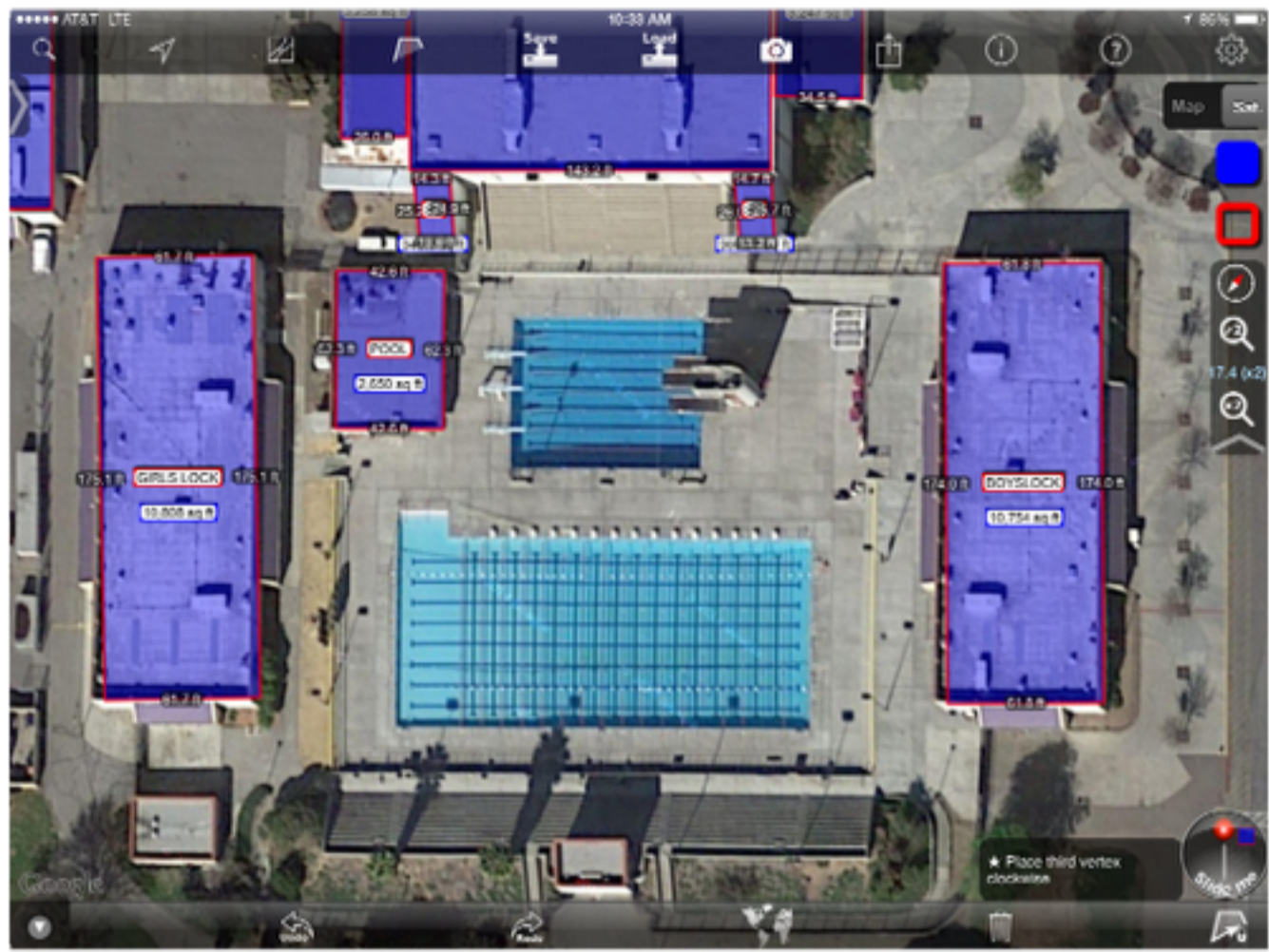
ROOF CONSTRUCTION										
ROOF AGE	SS 2008	<input checked="" type="checkbox"/>	BUR 2008	<input checked="" type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input checked="" type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input checked="" type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input checked="" type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input checked="" type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	4
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input checked="" type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$162,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the wall flashing sealant failing.



The photo below shows some ponding that may deteriorate the membrane.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 21, 2014
BUILDING	S Gymnasium Small
ROOF SQ FT	13,500

ROOF CONSTRUCTION										
ROOF AGE	2008	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input checked="" type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input checked="" type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	FOAM	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>		<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS							#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>				RATING	7
	RESEAL SEAMS	<input type="checkbox"/>	RESEAL BLISTERS or RIDGING	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>				RATING	7
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>				RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR WALL FLASH	<input checked="" type="checkbox"/>			
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>				RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>				RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
		<input type="checkbox"/>		<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input checked="" type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>		<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$4,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$202,500.00

An aerial view of the building.



An overview photo from the roof level.



Trimming the trees is advisable.



The photo below shows the wall flashing sealant failing.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 31, 2014
BUILDING	Ticket Booth
ROOF SQ FT	415

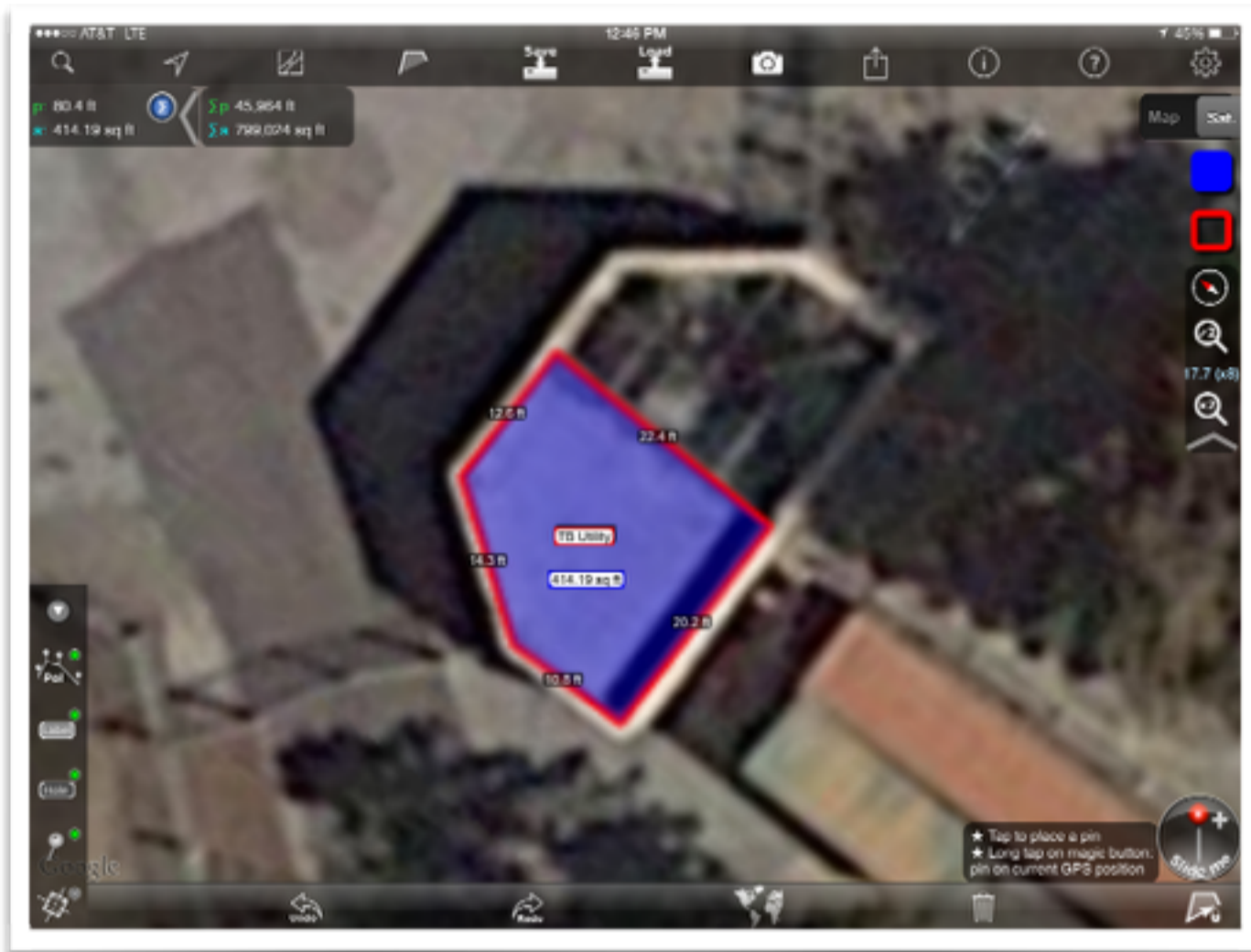
ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS							#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>				RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>		
		<input type="checkbox"/>			<input type="checkbox"/>		
		<input type="checkbox"/>			<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>				RATING	2
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL CAP JOINTS	<input checked="" type="checkbox"/>		
	INSTALL WALL BASE FLASHING	<input checked="" type="checkbox"/>		COAT WALL	<input checked="" type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>				RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>				RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>		
		<input type="checkbox"/>			<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$1,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$6,225.00

An aerial view of the building.



An overview photo from the roof level.



The wall needs to be coated and a proper flashing needs to be installed..



The photo below shows that metal cap flashing work is necessary.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 31, 2014
BUILDING	Ticket Booth
ROOF SQ FT	750

ROOF CONSTRUCTION										
ROOF AGE	SS 2007	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	SS GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	SS 6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL SEAMS	<input type="checkbox"/>		BLISTERS or RIDGING	<input type="checkbox"/>		SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>			
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		MEMBRANE BRITTLE	<input type="checkbox"/>			
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>		SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL CAP JOINTS	<input checked="" type="checkbox"/>			
	BASE FLASH CRAZE CRACKING	<input type="checkbox"/>		SOME WALL PLYWOOD REPAIR	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>			
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>			
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>			
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>			
	RAISE CURBS	<input type="checkbox"/>			<input type="checkbox"/>			
		<input type="checkbox"/>			<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>			
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>			
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>			
	HAZMAT SUSPECTED	<input type="checkbox"/>			<input type="checkbox"/>			
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	SS - REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$1,500.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$11,250.00

An aerial view of the building.



An overview photo from the roof level.



Another overview photo from the roof level..



The photo below shows that some metal cap flashing work is necessary.





BUILDING INFORMATION	
FACILITY	Independence HS
DATE	July 31, 2014
BUILDING	U-13
ROOF SQ FT	530

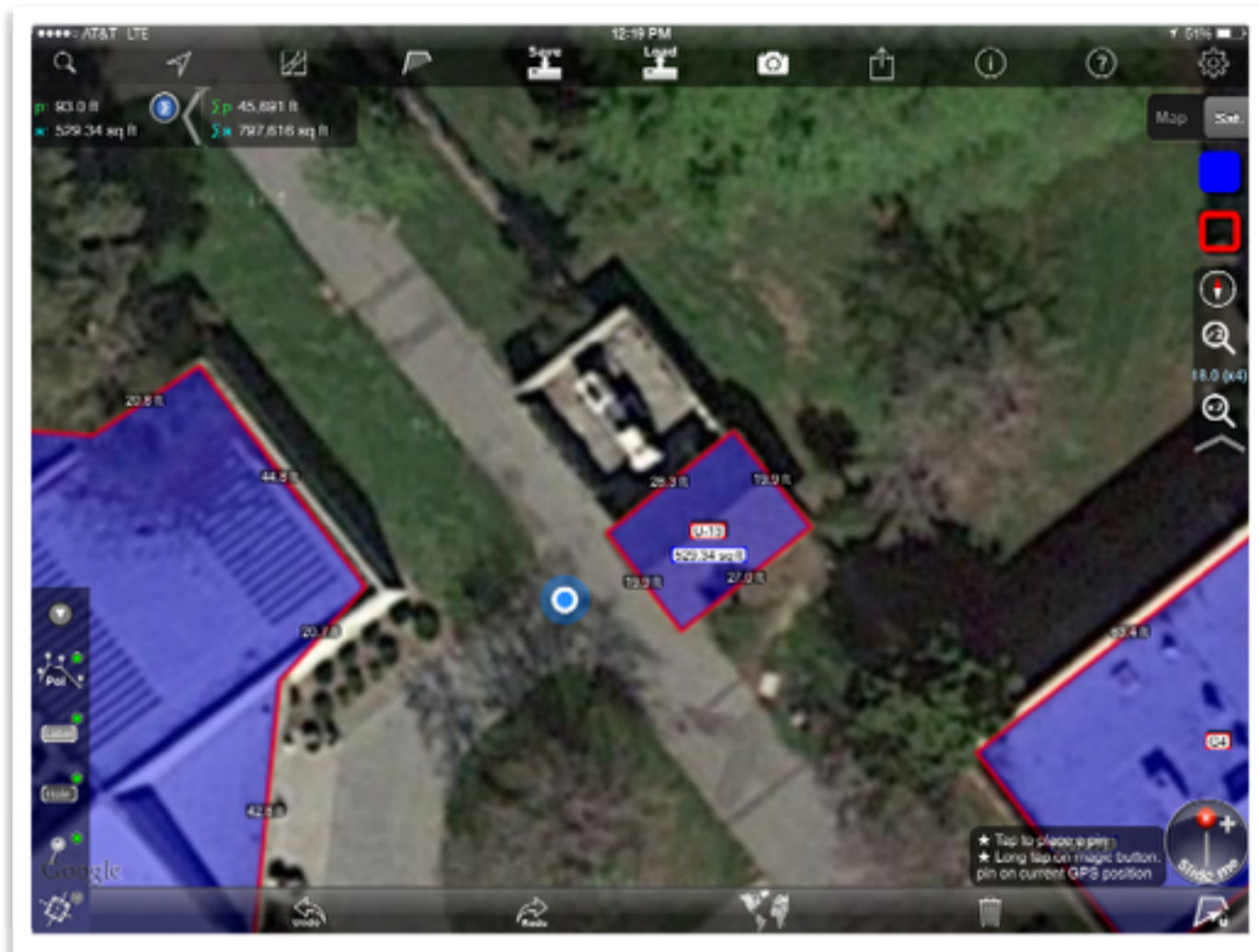
ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	SHINGLE	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>		<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input checked="" type="checkbox"/>		<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS										#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>							RATING	5
	REPAIR/REPLACE RIDGE SHINGLES	<input type="checkbox"/>		RESEAL BLISTERS or RIDGING	<input type="checkbox"/>					
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		DECK REPAIR NEEDED	<input type="checkbox"/>					
	DECK REPAIR SUSPECTED	<input type="checkbox"/>		CLOSE TO END OF LIFE	<input checked="" type="checkbox"/>					
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>							RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>		FIX DECK DEFLECTION	<input type="checkbox"/>					
		<input type="checkbox"/>			<input type="checkbox"/>					
		<input type="checkbox"/>			<input type="checkbox"/>					
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>							RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>					
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>		RESEAL/RECOAT WALL	<input type="checkbox"/>					
		<input type="checkbox"/>			<input type="checkbox"/>					
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>							RATING	8
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>		ADD/ENHANCE OVERFLOW	<input type="checkbox"/>					
	CLEAR DRAINS	<input type="checkbox"/>		ADD GUTTER	<input type="checkbox"/>					
	GUTTER REPAIR NEEDED	<input type="checkbox"/>		GUTTER COATING NEEDED	<input type="checkbox"/>					
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>							RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>		RESEAL/REPAIR SELECT	<input type="checkbox"/>					
		<input type="checkbox"/>			<input type="checkbox"/>					
		<input type="checkbox"/>			<input type="checkbox"/>					
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>		KEEP WATERWAYS CLEAN	<input type="checkbox"/>					
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>		TRIM TREES	<input type="checkbox"/>					
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>		HVAC REPAIR NEEDED	<input type="checkbox"/>					
	HAZMAT SUSPECTED	<input type="checkbox"/>		REPAIR/REPLACE FASCIA	<input type="checkbox"/>					
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>		YES	<input type="checkbox"/>		NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS	<input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$0.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT - SHINGLES	\$7,950.00

An street view of the building.



The photo below shows the ridge shingles missing.



The photo below shows damage to the fascia.

